



FARMINGTON ZONING TABLE	
ZONE - R20 (SEC. 9 F. ACTIVE ADULT HOUSING ZONE (S-A))	
	<u>REQUIRED</u>
MIN. SIZE	10 Ac.
MAX. UNITS	44 (4+/Ac)
MAX. IMPERVIOUS COVERAGE	40%
MIN. LIVING AREA PER UNIT	900 SF
MAX. BUILDING HEIGHT	24 FT.
MIN. BUILDING-SEITE SEPARATION (NOT PARALLEL)	20 FT.
MIN. BUILDING-REAR SEPARATION	40 FT.

**Disclaimer:** The underground utilities shown have been located from limited field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. To meet the requirements of our professional liability insurance, the terms CERTIFICATE, CERTIFY, and CERTIFICATION mean to the best information, knowledge, and belief of the engineer; and are not an unconditional certification, warranty or guarantee which are not covered under the policy.

REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

REVISION-1: 7/26/2024 – TOWN COMMENTS

PROJECT: 220076-LOVLEY		
DR: ---	SR: ---	DR: ---

DD:	WT:	DN:
CEM		

SEAL:  
SURVEY NOTES:  
THIS MAP HAS BEEN PREPARED IN

THIS MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED FOR USE BY THE REGULATIONS OF CONNECTICUT STATE AGENCY ON SEPTEMBER 26, 1996. (CT SECTIONS 20-300b-1 TO 20-300b-20).

THE TYPE OF SURVEY PERFORMED IS AN:  
IMPROVEMENT LOCATION MAP.

BOUNDARY DETERMINATION IS BASED UPON:  
A RESURVEY

THIS SURVEY CONFORMS TO A:  
CLASS A-2/T-2

TO THE BEST OF MY KNOWLEDGE AND BELIEF  
THIS MAP IS SUBSTANTIALLY CORRECT AS  
NOTED HEREON

James N. Sakonchick  
CT P.E. & L.S. #11302

kratzert,  
jones &  
associates. inc.

CIVIL ENGINEERS • LAND SURVEYORS  
SITE PLANNERS • BUILDING ENGINEERS

P.O. BOX 337

1755 MERIDEN-WATERBURY RD.  
MILDALE, CT 06467-0337

PHONE: (860) 621-3638  
FAX: (860) 621-9609

EMAIL: INFO@KRATZERTIONS.COM

OVERALL  
ASBUILT

for  
NEWPORT WILLOW BROOK  
PARTNERS LLC

#265 UNIONVILLE AVENUE  
PLAINVILLE, CT

&  
#8677 PLAINVILLE AVENUE  
FARMINGTON, CT

SCALE: 1"=40'

DATE: JUNE 28, 2024

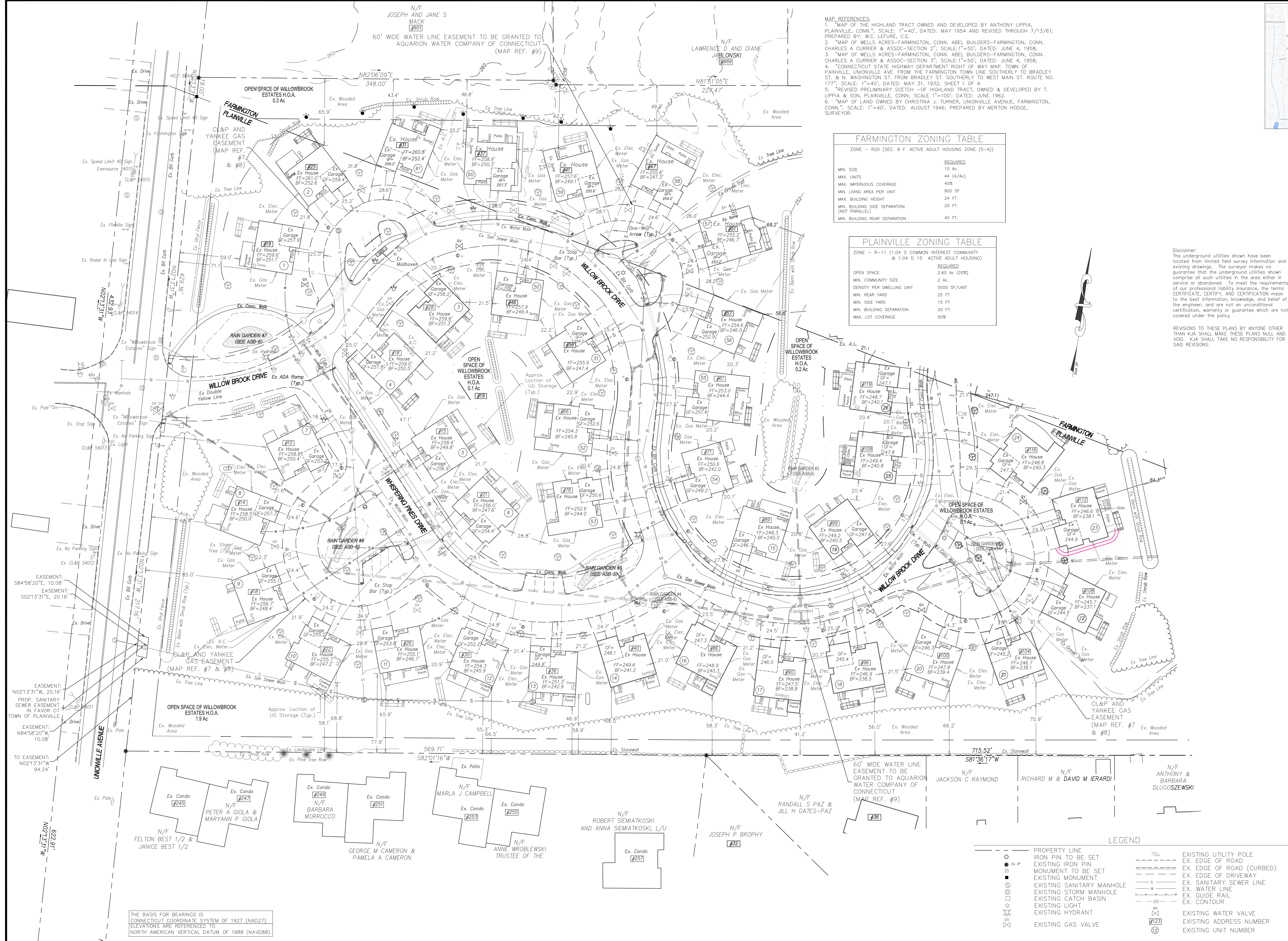
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INCHES ON ORIGINAL

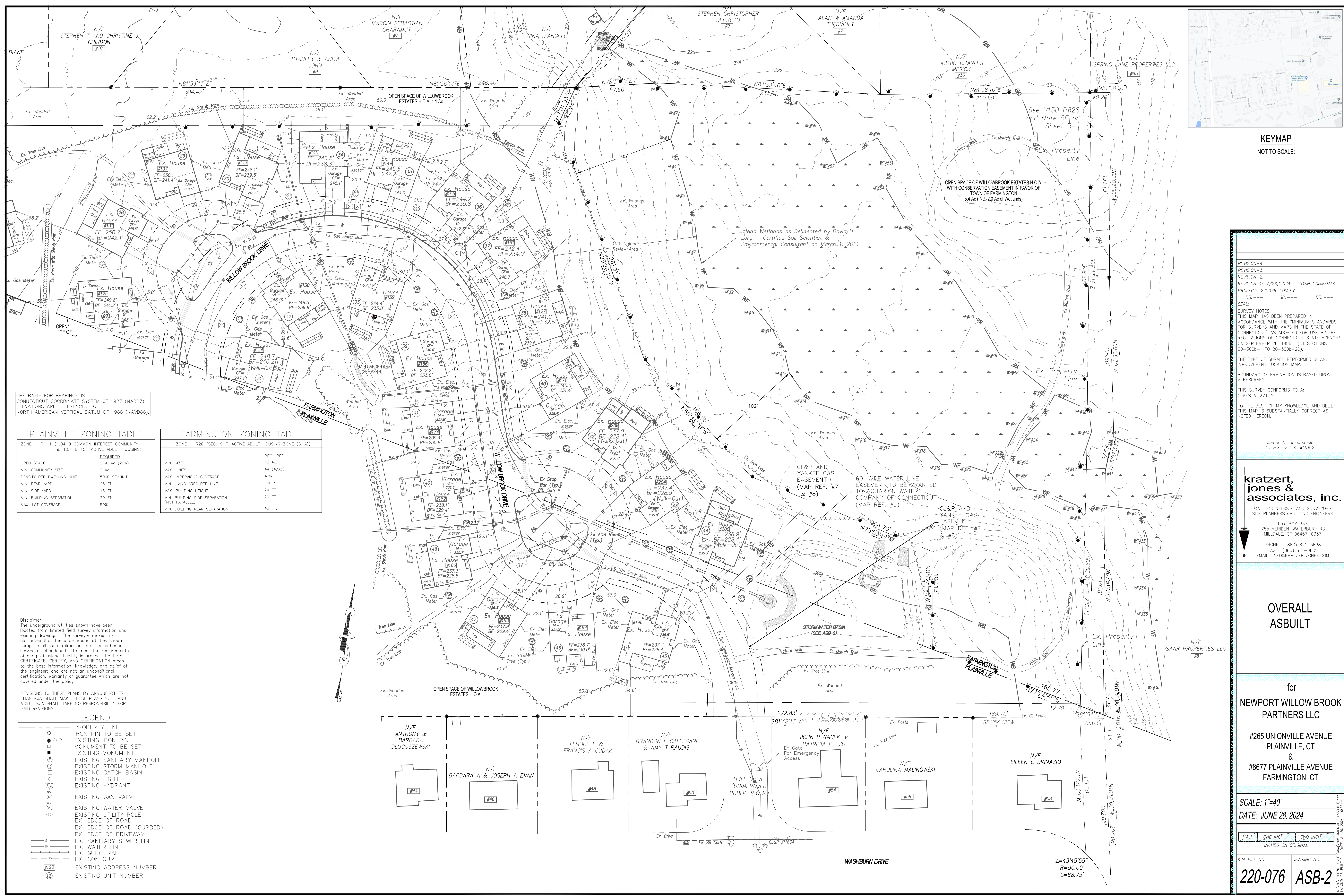
KJA FILE NO.

DRAWING NO. :

220-076 ASB-1

[illegible]





THE BASIS FOR BEARINGS IS  
CONNECTICUT COORDINATE SYSTEM OF 1927 (NAD27)  
ELEVATIONS ARE REFERENCED TO  
NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVDS88).

PLAINVILLE ZONING TABLE	
ZONE - R-11 (1.04 D COMMON INTEREST COMMUNITY & 1.04 D 15 ACTIVE ADULT HOUSING)	REQUIRED
OPEN SPACE	2.60 AC (20%)
MIN. COMMUNITY SIZE	2 AC
DENSITY PER DWELLING UNIT	5000 SF/UNIT
MIN. REAR YARD	25 FT
MIN. SIDE YARD	15 FT
MIN. BUILDING SEPARATION	20 FT
MAX. LOT COVERAGE	50%

FARMINGTON ZONING TABLE	
ZONE - R20 (SEC. 9 F. ACTIVE ADULT HOUSING ZONE (S-A))	REQUIRED
MIN. SIZE	10 AC
MAX. UNITS	44 (4/AC)
MAX. IMPERVIOUS COVERAGE	40%
MIN. LIVING AREA PER UNIT	900 SF
MAX. BUILDING HEIGHT	24 FT
MIN. BUILDING SIDE SEPARATION (NOT PARALLEL)	20 FT
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- LEGEND
- PROPERTY LINE
  - IRON PIN TO BE SET
  - EXISTING IRON PIN MONUMENT TO BE SET
  - EXISTING MONUMENT
  - EXISTING SANITARY MANHOLE
  - EXISTING STORM MANHOLE
  - EXISTING CATCH BASIN
  - EXISTING LIGHT
  - EXISTING HYDRANT
  - EXISTING GAS VALVE
  - EXISTING WATER VALVE
  - EXISTING UTILITY POLE
  - EX. EDGE OF ROAD
  - EX. EDGE OF ROAD (CURBED)
  - EX. EDGE OF DRIVEWAY
  - EX. SANITARY SEWER LINE
  - EX. WATER LINE
  - EX. GUIDE RAIL
  - EX. CONTOUR
  - EXISTING ADDRESS NUMBER
  - EXISTING UNIT NUMBER

KEYMAP  
NOT TO SCALE:

REVISION-4:  
REVISION-3:  
REVISION-2:  
REVISION-1: 7/26/2024 - TOWN COMMENTS  
PROJECT: 220076-LOVELY  
DB: --- SR: --- DR: ---  
SEAL:  
SURVEY NOTES:  
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BOUNDARY DETERMINATION IS BASED UPON: A RESURVEY.  
THIS SURVEY CONFORMS TO A: CLASS A-2/T-2  
TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

James N. Skonchick  
CT P.E. & L.S. #11302  
**kratzer, jones & associates, inc.**  
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SITE PLANNERS • BUILDING ENGINEERS  
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OVERALL  
ASBUILT

for  
NEWPORT WILLOW BROOK  
PARTNERS LLC

#265 UNIONVILLE AVENUE  
PLAINVILLE, CT  
&  
#8677 PLAINVILLE AVENUE  
FARMINGTON, CT

SCALE: 1"=40'  
DATE: JUNE 28, 2024

HALF ONE INCH TWO INCH  
INCHES ON ORIGINAL

KJA FILE NO.: DRAWING NO.:  
**220-076 ASB-2**





Fox Sedge (*Carex lupinoides*), Hop Sedge (*Carex lupulina*), Water Plantain (*Alisma Plantaginifolia*), Aquatic, Bearded Sedge (*Carex Comosa*), Noddy or Bar-Marigold (*Bidens Cernua*), Lurid Sedge (*Carex Lurida*), Grass Leaved Goldenrod (*Solidago Graminifolia*), Soft Rush (*Juncus Effusus*), Blue Vervain (*Verbana Hastata*), Hard-Stem Bulrush (*Scirpus Acutus*), Boneset (*Eupatorium Perfoliatum*), Green Bulrush (*Scirpus Atrovirens*), Flat-Top Aster (*Aster Umbellatus*), Woolgrass (*Scirpus Cyperinus*), Sensitive Fern (*Onoclea Sensibilis*), Spotted Joe-Pye Weed (*Eupatorium Maculatum*), Soft-Stem Bulrush (*Scirpus Validus*), Ditch Stonewort (*Penthorum Sedoides*)

APPLICATION RATE: 3 LB/5,000 S.F.





















Big Bluestem (*Andropogon gerardii*), Switchgrass (*Panicum Virgatum*), Little Bluestem (*Schizachyrium Scoparium*), Canada Wild Yre (*Elymus Canadensis*), Fox Sedge (*Carex Vulpinoides*), Portridge Pea (*Chamaecrista Fasciculata*), Crinded Bromegrass (*Bromus Ciliatus*), Pennsylvania Smartweed (*Polygonum Pensylvanicum*), Common Milkweed (*Asclepias Syriaca*), Nodding Bur-Marigold (*Bidens Cernua*), Showy Tick-Trefoil (*Desmodium Caccadense*), Silky Smooth Aster (*Aster Laevis*), Flat-Top Aster (*Aster Umbellatus*)

### MAINTENANCE SCHEDULE FOR STORMWATER BASINS

ACTIVITY	SCHEDULE
INSPECT WETLAND COMPONENTS FOR INVASIVE VEGETATION	SEMI-ANNUALLY
INSPECT FOR DAMAGE	ANNUALLY
NOTE SIGNS OF HYDROCARBON BUILD-UP, AND REMOVE IF DETECTED	ANNUALLY
MONITOR FOR SEDIMENT ACCUMULATION IN THE FACILITY AND FOREBAY	ANNUALLY
EXAMINE TO ENSURE THAT INLET AND OUTLET DEVICES ARE FREE OF DEBRIS AND OPERATIONAL	ANNUALLY
REPAIR UNDERCUT OR ERODED AREAS	AS-NEEDED
CLEAN AND REMOVE DEBRIS FROM INLET AND OUTLET STRUCTURES	MONTHLY
MOW SIDE SLOPES, HIGH GRASS ALONG POND EDGE WILL DISCOURAGE WATERFOWL FROM TAKING UP RESIDENCE AND SERVE TO FILTER POLLUTANTS	MONTHLY
WETLAND PLANT MANAGEMENT AND HARVESTING	ANNUALLY (IF NEEDED)
DRAIN POND IN FALL AND LET FROST KILL PLANTS, THEN DREDGE IN SPRING	ANNUALLY (IF NEEDED)
REMOVAL OF SEDIMENT FROM FOREBAY	5-YEAR MAINTENANCE
REMOVE SEDIMENT WHEN THE POOL VOLUME HAS BEEN REDUCED SIGNIFICANTLY, OR WHEN SIGNIFICANT ALGAL GROWTH IS OBSERVED	10-YEAR MAINTENANCE (MORE FREQUENT DREDGING IN DEVELOPING WATERSHEDS WITH SIGNIFICANT SEDIMENT LOADS)

**Utilities Disclaimer:**  
The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does declare that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.

## LEGEND

	PROPERTY LINE
	IRON PIN TO BE SET
	EXISTING IRON PIN
	MONUMENT TO BE SET
	EXISTING MONUMENT
	EXISTING SANITARY MANHOLE
	EXISTING STORM MANHOLE
	EXISTING CATCH BASIN
	EXISTING LIGHT
	EXISTING HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EX. EDGE OF ROAD
	EX. EDGE OF ROAD (CURBED)
	EX. EDGE OF DRIVEWAY
	EX. SANITARY SEWER LINE
	EX. WATER LINE
	EX. GUIDE RAIL
	EX. CONTOUR

Proposed Stage / Storage Table				
Stage (ft)	Elevation (ft)	Contour Area (sqft)	Incr. Storage (cuft)	Total Storage (cuft)
0.00	220.00	10,819	0	0
1.00	221.00	12,199	11,501	11,501
2.00	222.00	13,636	12,910	24,411
3.00	223.00	15,128	14,374	38,785
4.00	224.00	16,678	15,895	54,680
5.00	225.00	18,285	17,474	72,153

As-Built Stage / Storage Table				
Stage (ft)	Elevation (ft)	Contour Area (sqft)	Incr. Storage (cuft)	Total Storage (cuft)
0.00	220.00	9,773	0	
1.00	221.00	11,160	10,467	10,467
2.00	222.00	13,928	12,544	23,011
3.00	223.00	13,995	13,962	36,972
4.00	224.00	15,400	14,698	51,670
5.00	225.00	16,847	16,124	67,793

STORMWATER BASIN #1  
PLAN SCALE 1"=10'

REVISION-7:		
REVISION-6:		
REVISION-5:		
REVISION-4:		
REVISION-3:		
REVISION-2:		
REVISION-1: 7/26/2024 - TOWN COMMENTS		
PROJECT: 220076-LOWLEY		
DB:	SR: AQ	DR: AQ

SEAL:

Andrew J. Quirk  
CT P.E. #22588

**kratzer,**  
**jones &**  
**associates, inc.**

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STORMWATER  
BASIN ASBUILT

for  
WILLOW BROOK  
ESTATES

#265 UNIONVILLE AVENUE  
PLAINVILLE, CT  
&  
PLAINVILLE AVENUE  
FARMINGTON, CT

SCALE: 1" = 10'

DATE: JUNE 28, 2024

HALF ONE INCH TWO INCH

INCHES ON ORIGINAL

KJA FILE NO. :

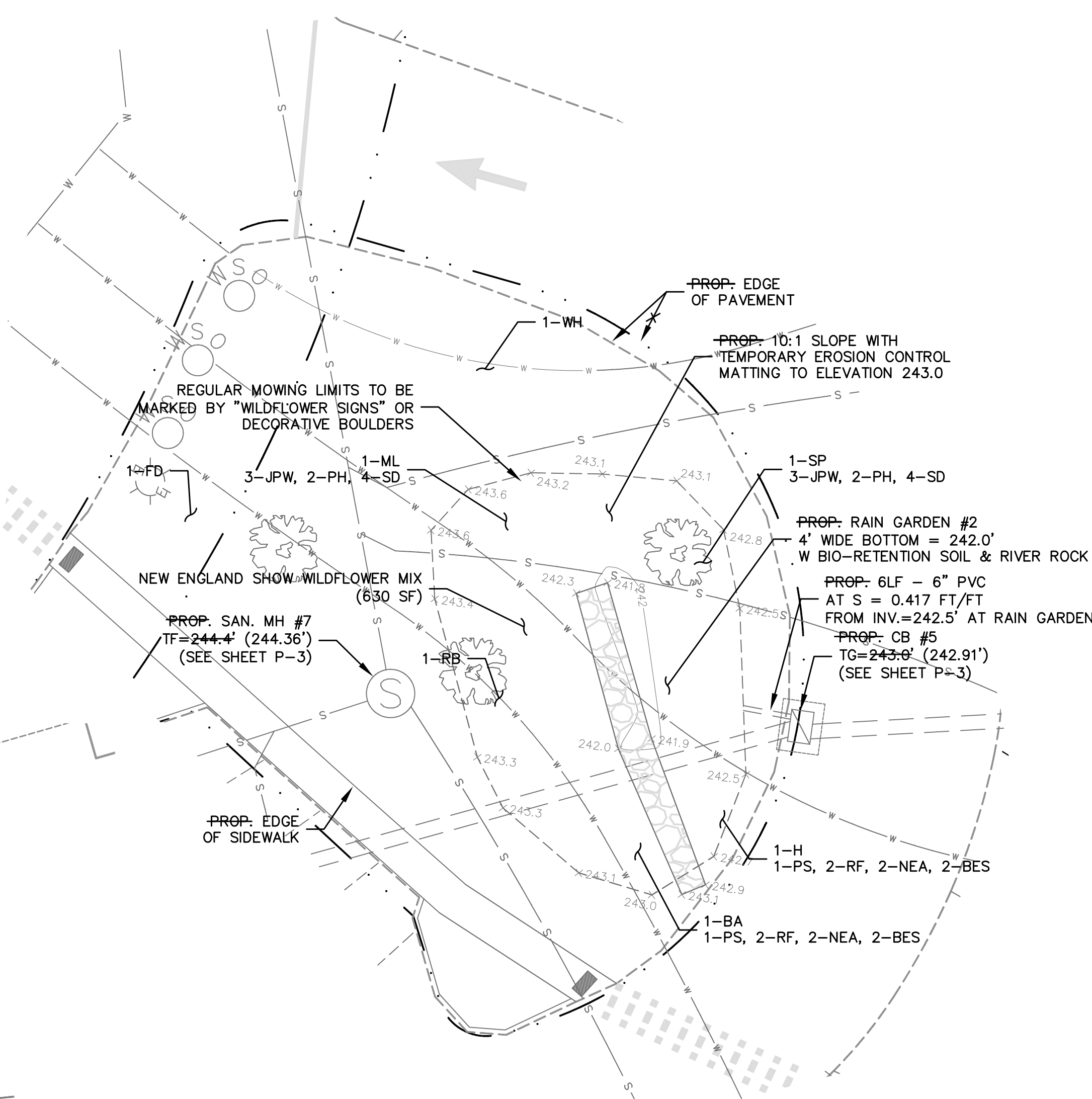
DRAWING NO. :

220-076

ASB-3

W:\20\220076-LOWEY\dwg\DETAILS (ASBUILT).dwg  
LAYOUT: ASB-3 DATE: Jul 26, 2024 - 5:08pm

























RAIN GARDEN #1  
PLAN SCALE 1"=10'

The diagram illustrates a cross-section of a stormwater basin. The layers from top to bottom are: a decorative river rock layer, a finished grade, a bio retention soil mixture, a sand layer, a wrap with filter fabric (typical), a 1-inch broken stone layer, and an undisturbed native soil layer. The basin is labeled as a 'STORMWATER BASIN BOTTOM AREA'. Dimensions on the left indicate a total height of 18 inches for the upper section, a 6-inch sand layer, and a 6-inch section for the wrap, filter fabric, and broken stone layers.

Labels in the diagram include: DECORATIVE RIVER ROCK, FINISHED GRADE, BIO RETENTION SOIL MIXTURE, SAND, WRAP ALL 4 SIDES TRENCH WITH FILTER FABRIC (TYP.), 1" BROKEN STONE, UNDISTURBED NATIVE SOIL, and STORMWATER BASIN BOTTOM AREA.

Dimensions on the left are: 18", 6", and 6".

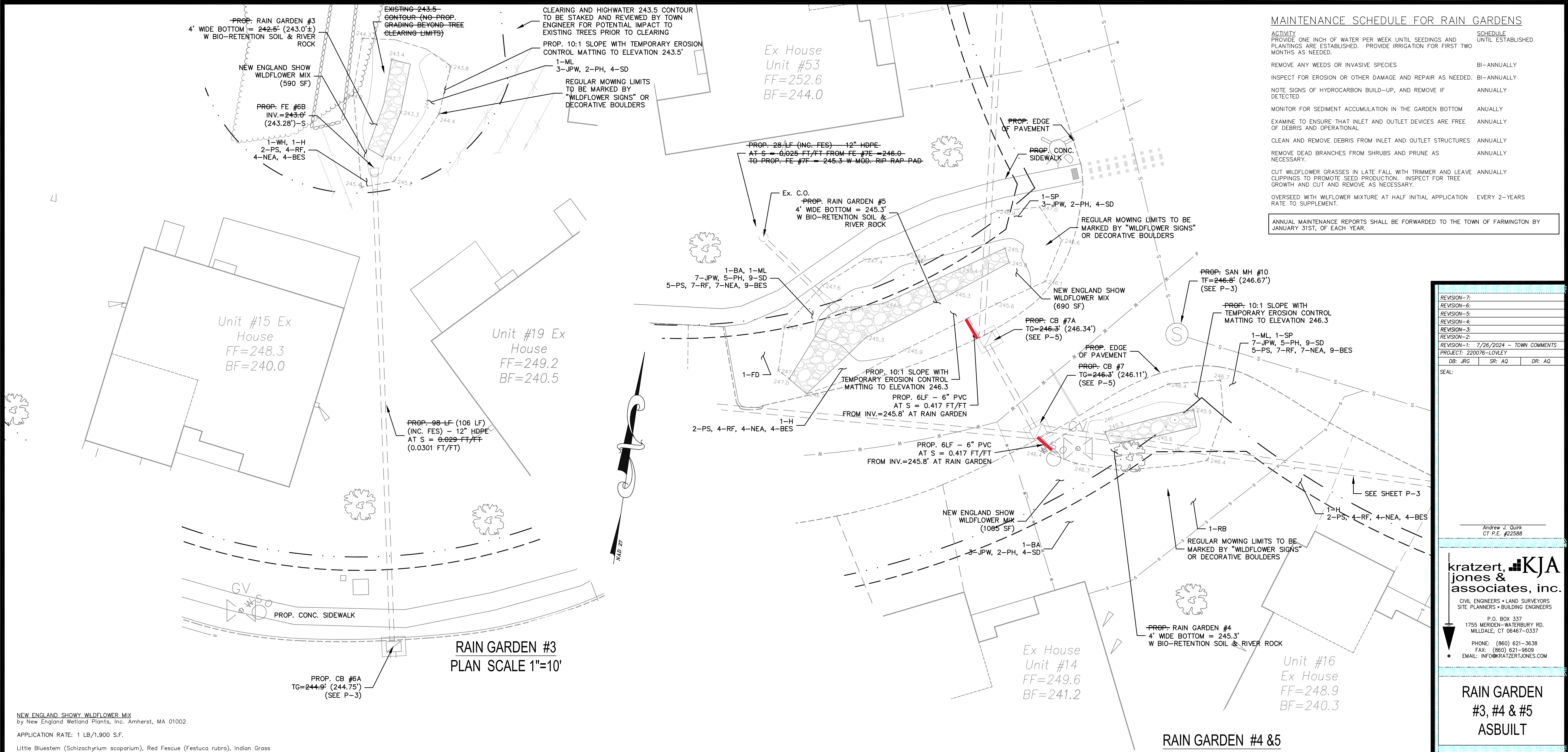
## LEGEND

	PROPERTY LINE
	IRON PIN TO BE SET
	EXISTING IRON PIN
	MONUMENT TO BE SET
	EXISTING MONUMENT
	EXISTING SANITARY MANHOLE
	EXISTING STORM MANHOLE
	EXISTING CATCH BASIN
	EXISTING LIGHT
	EXISTING HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EX. EDGE OF ROAD
	EX. EDGE OF ROAD (CURBED)
	EX. EDGE OF DRIVEWAY
	EX. SANITARY SEWER LINE
	EX. WATER LINE
	EX. GUIDE RAIL
	EX. CONTOUR

DRAWING NO.

M:\20\220076-LOVELEY\dwg\DETAILS (ASBUILT).dwg  
 AUTHOR: ASB DATE: JUL 26 2024 TIME: 09:00am





**NEW ENGLAND SHOWY WILDFLOWER MIX**  
by New England Wetland Plants, Inc. Amherst, MA 01002

APPLICATION RATE: 1 LB/1,900 S.F.

Little Bluestem (Schizachyrium scoparium), Red Fescue (Festuca rubra), Indian Grass (Sorghastrum nutans), Partridge Pea (Chamaecrista fasciculata), Canada Wild Rye (Elymus canadensis), Riverbank Wild Rye (Elymus riparius), Butterfly Milkweed (Asclepias tuberosa), Black Eyed Susan (Rudbeckia hirta), Lance Leaved Coreopsis (Coreopsis lanceolata), Ox Eye Sunflower (Helianthus scaberrimus), Common Sneezeweed (Helenium autumnale), Marsh Blazing Star (Liatris spicata), Blue Vervain (Verbena hastata), New England Aster (Aster novae-angliae), Wild Blue False Indigo (Baptisia australis), Hollowstem Joe Pye Weed (Eupatorium fistulosum/ Eutrochium fistulosum), Early Goldenrod (Solidago juncea).

**NOTE: ALL RAIN GARDENS SHALL INCORPORATE NON-INVASIVE NATIVE PLANTINGS**

**PERENNIAL PLANTINGS**

PLANTING LIST SYMBOL	QUAN.	NAME	SIZE
JPW	15	JOE PYE WEED Eupatorium maculatum	NURSERY STOCK
PH	10	PATRIOT HOSTA Hosta 'Patriot'	NURSERY STOCK
SD	18	SHASTA DAISY Leucanthemum x superbum 'Snowcap'	NURSERY STOCK
PS	11	PERENNIAL SAGE Salvia nemorosa 'Caradonna'	NURSERY STOCK
RF	19	ROYAL FERN Osmunda regalis	NURSERY STOCK
NEA	19	NEW ENGLAND ASTER Aster novae-angliae	NURSERY STOCK
BES	21	BLACK-EYED SUSAN Rudbeckia hirta	NURSERY STOCK

**LEGEND**

- PROPERTY LINE
- IRON PIN TO BE SET
- EXISTING IRON PIN MONUMENT TO BE SET
- EXISTING MONUMENT
- EXISTING SANITARY MANHOLE
- EXISTING STORM MANHOLE
- EXISTING CATCH BASIN
- EXISTING LIGHT
- EXISTING HYDRANT
- EXISTING GAS VALVE
- EXISTING WATER VALVE
- EXISTING UTILITY POLE
- EX. EDGE OF ROAD
- EX. EDGE OF ROAD (CURBED)
- EX. EDGE OF DRIVEWAY
- EX. SANITARY SEWER LINE
- EX. WATER LINE
- EX. GUIDE RAIL
- EX. CONTOUR

**RAIN GARDEN #3, #4 & #5 ASBUILT**

for

**WILLOW BROOK ESTATES**

#265 UNIONVILLE AVENUE  
PLAINVILLE, CT  
&  
PLAINVILLE AVENUE  
FARMINGTON, CT

**SCALE: 1" = 10'**  
**DATE: JULY 1, 2024**

**220-076 ASB-5**



MAINTENANCE SCHEDULE FOR RAIN GARDENS

ACTIVITY	SCHEDULE
PROVIDE ONE INCH OF WATER PER WEEK UNTIL SEEDINGS AND PLANTINGS ARE ESTABLISHED. PROVIDE IRRIGATION FOR FIRST TWO MONTHS AS NEEDED.	UNTIL ESTABLISHED
REMOVE ANY WEEDS OR INVASIVE SPECIES	BI-ANNUALLY
INSPECT FOR EROSION OR OTHER DAMAGE AND REPAIR AS NEEDED.	BI-ANNUALLY
NOTE SIGNS OF HYDROCARBON BUILD-UP, AND REMOVE IF DETECTED	ANNUALLY
MONITOR FOR SEDIMENT ACCUMULATION IN THE GARDEN BOTTOM	ANNUALLY
EXAMINE TO ENSURE THAT INLET AND OUTLET DEVICES ARE FREE OF DEBRIS AND OPERATIONAL	ANNUALLY
CLEAN AND REMOVE DEBRIS FROM INLET AND OUTLET STRUCTURES	ANNUALLY
REMOVE DEAD BRANCHES FROM SHRUBS AND PRUNE AS NECESSARY.	ANNUALLY
CUT WILDFLOWER GRASSES IN LATE FALL WITH TRIMMER AND LEAVE CLIPPINGS TO PROMOTE SEED PRODUCTION. INSPECT FOR TREE GROWTH AND CUT AND REMOVE AS NECESSARY.	ANNUALLY
OVERSEED WITH WILFLOWER MIXTURE AT HALF INITIAL APPLICATION RATE TO SUPPLEMENT.	EVERY 2-YEARS

ANNUAL MAINTENANCE REPORTS SHALL BE FORWARDED TO THE TOWN OF FARMINGTON BY JANUARY 31ST, OF EACH YEAR.

REVISION-7:
REVISION-6:
REVISION-5:
REVISION-4:
REVISION-3:
REVISION-2:
REVISION-1: 7/25/24 - TOWN COMMENTS
PROJECT: 220076-LOVLEY
DB: JRG SR: AQ DR: AQ

SEAL:

Andrew J. Quirk  
CT P.E. #22688

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RAIN GARDEN  
#6 & #7  
ASBUILT

for  
WILLOW BROOK  
ESTATES

#265 UNIONVILLE AVENUE  
PLAINVILLE, CT  
&  
PLAINVILLE AVENUE  
FARMINGTON, CT

SCALE: 1" = 10'

DATE: JUNE 28, 2024

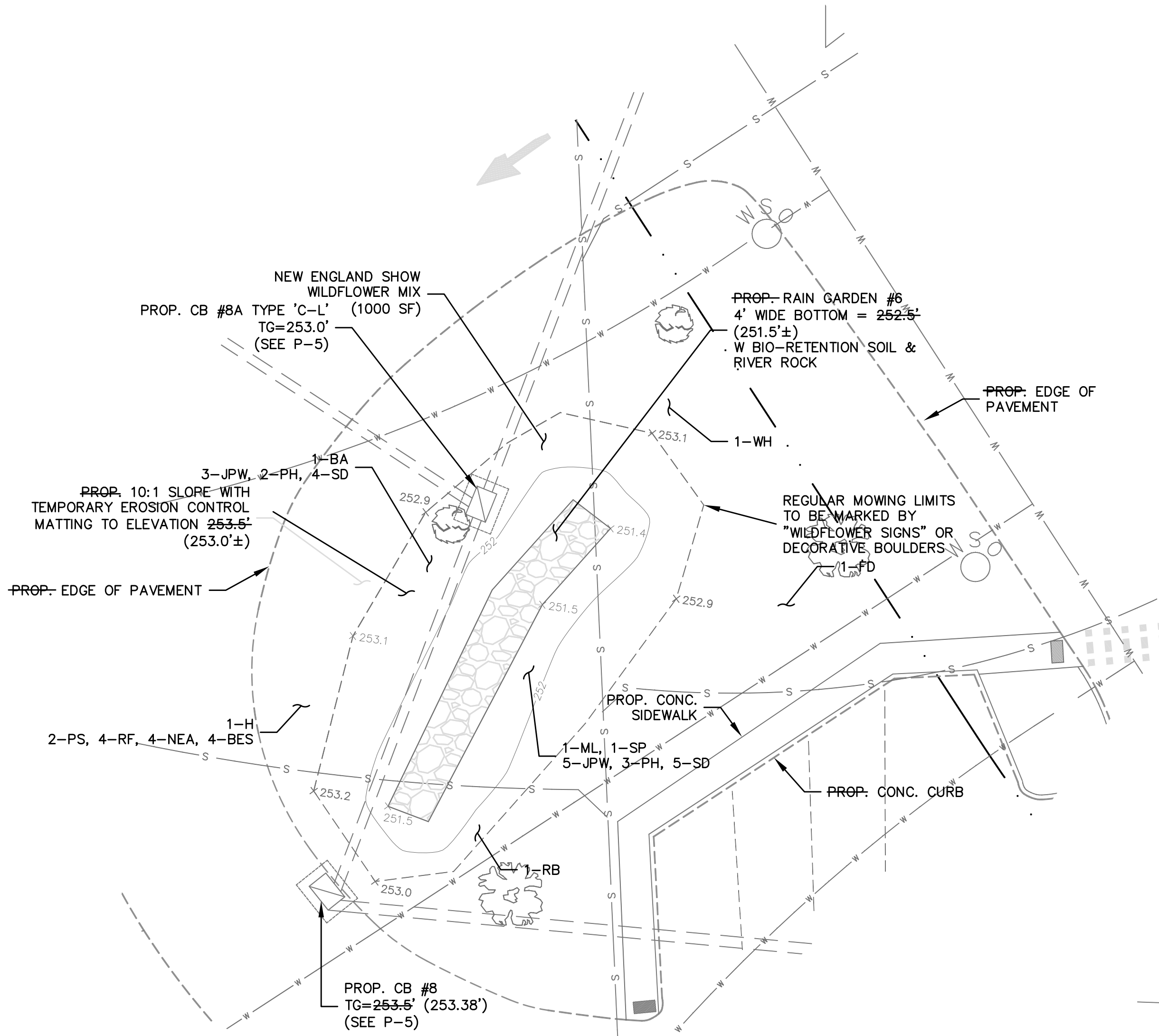
HALF ONE INCH TWO INCH  
INCHES ON ORIGINAL

KJA FILE NO. :

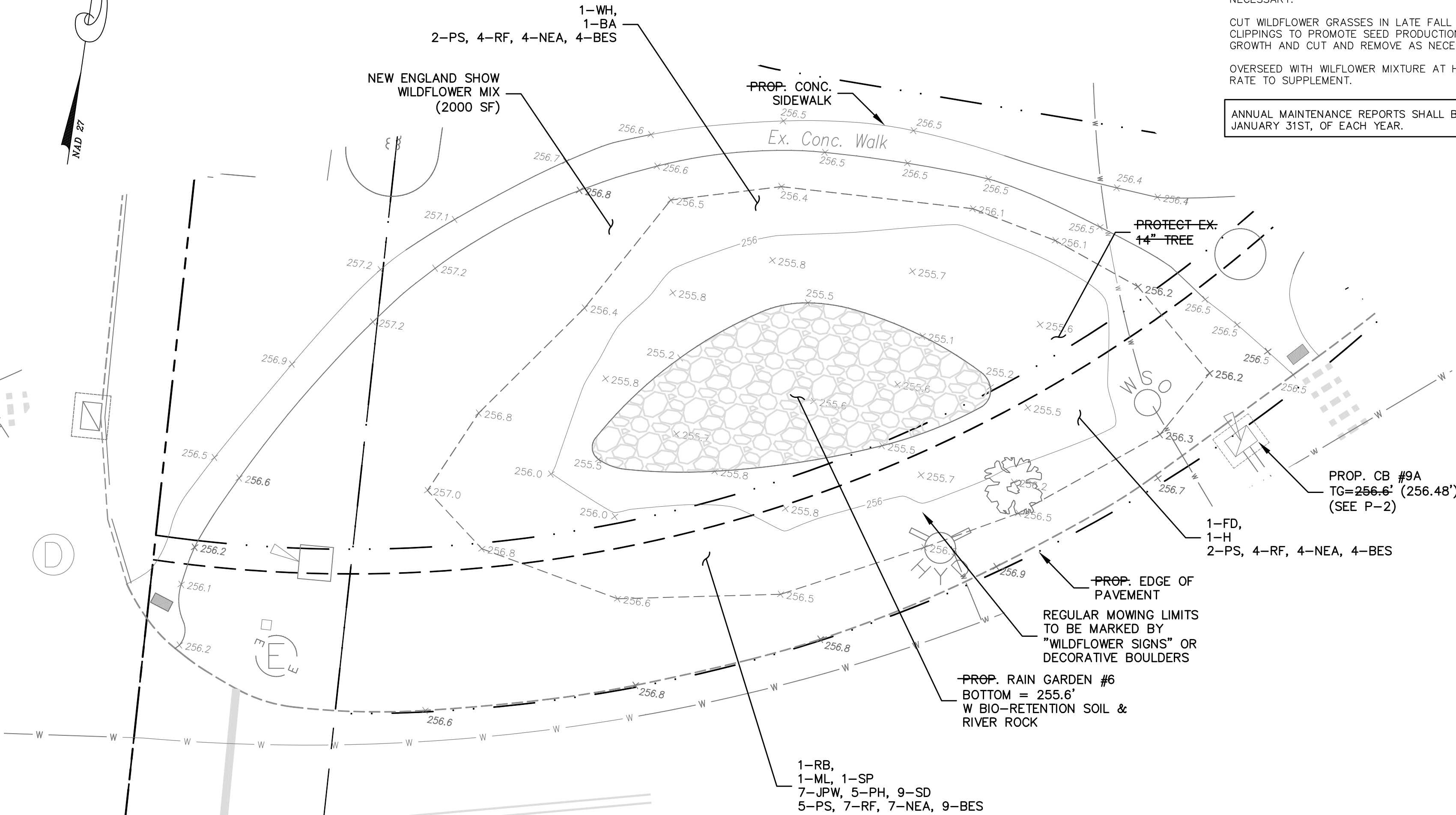
220-076

DRAWING NO. :

ASB-6



RAIN GARDEN #6  
PLAN SCALE 1"=10'



RAIN GARDEN #7  
PLAN SCALE 1"=10'

PERENNIAL PLANTINGS

PLANTING LIST SYMBOL	QUAN.	NAME	SIZE
JPW	15	JOE PYE WEED Eupatorium maculatum	NURSERY STOCK
PH	10	PATRIOT HOSTA Hosta 'Patriot'	NURSERY STOCK
SD	18	SHASTA DAISY Leucanthemum x superbum 'Snowcap'	NURSERY STOCK
PS	11	PERENNIAL SAGE Salvia nemorosa 'Caradonna'	NURSERY STOCK
RF	19	ROYAL FERN Osmunda regalis	NURSERY STOCK
NEA	19	NEW ENGLAND ASTER Aster novae-angliae	NURSERY STOCK
BES	21	BLACK-EYED SUSAN Rudbeckia hirta	NURSERY STOCK

LEGEND

○	PROPERTY LINE
●	IRON PIN TO BE SET
□	EXISTING IRON PIN
■	MONUMENT TO BE SET
⊠	EXISTING MONUMENT
⊙	EXISTING SANITARY MANHOLE
⊗	EXISTING STORM MANHOLE
⊕	EXISTING CATCH BASIN
⊖	EXISTING LIGHT
⊗	EXISTING HYDRANT
⊕	EXISTING GAS VALVE
⊖	EXISTING WATER VALVE
⊗	EXISTING UTILITY POLE
⊕	EX. EDGE OF ROAD
⊖	EX. EDGE OF ROAD (CURBED)
⊗	EX. EDGE OF DRIVEWAY
⊕	EX. SANITARY SEWER LINE
⊖	EX. WATER LINE
⊗	EX. GUIDE RAIL
⊕	EX. CONTOUR

NEW ENGLAND SHOWY WILDFLOWER MIX  
by New England Wetland Plants, Inc. Amherst, MA 01002

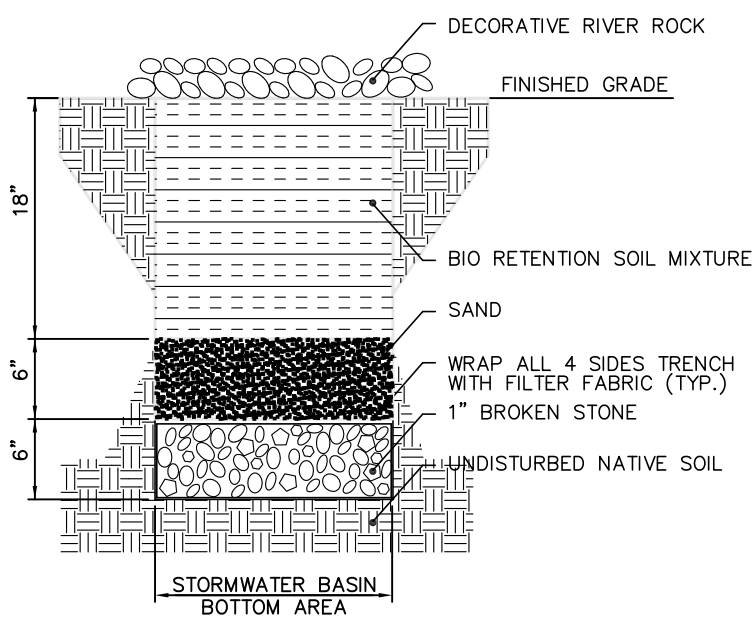
APPLICATION RATE: 1 LB/1,900 S.F.

Little Bluestem (Schizachyrium scoparium), Red Fescue (Festuca rubra), Indian Grass (Sorghastrum nutans), Partridge Pea (Chamaecrista fasciculata), Canada Wild Rye (Elymus canadensis), Riverbank Wild Rye (Elymus riparius), Butterfly Milkweed (Asclepias tuberosa), Black Eyed Susan (Rudbeckia hirta), Lance Leaved Coreopsis (Coreopsis lanceolata), Ox Eye Sunflower (Helianthus annuus), Common Sneezeweed (Helenium autumnale), Marsh Blazing Star (Liatris spicata), Blue Vervain (Verbena hastata), New England Aster (Aster novae-angliae), Wild Blue False Indigo (Baptisia australis), Hollowstem Joe Pye Weed (Eupatorium fistulosum / Eutrochium fistulosum), Early Goldenrod (Solidago juncea).

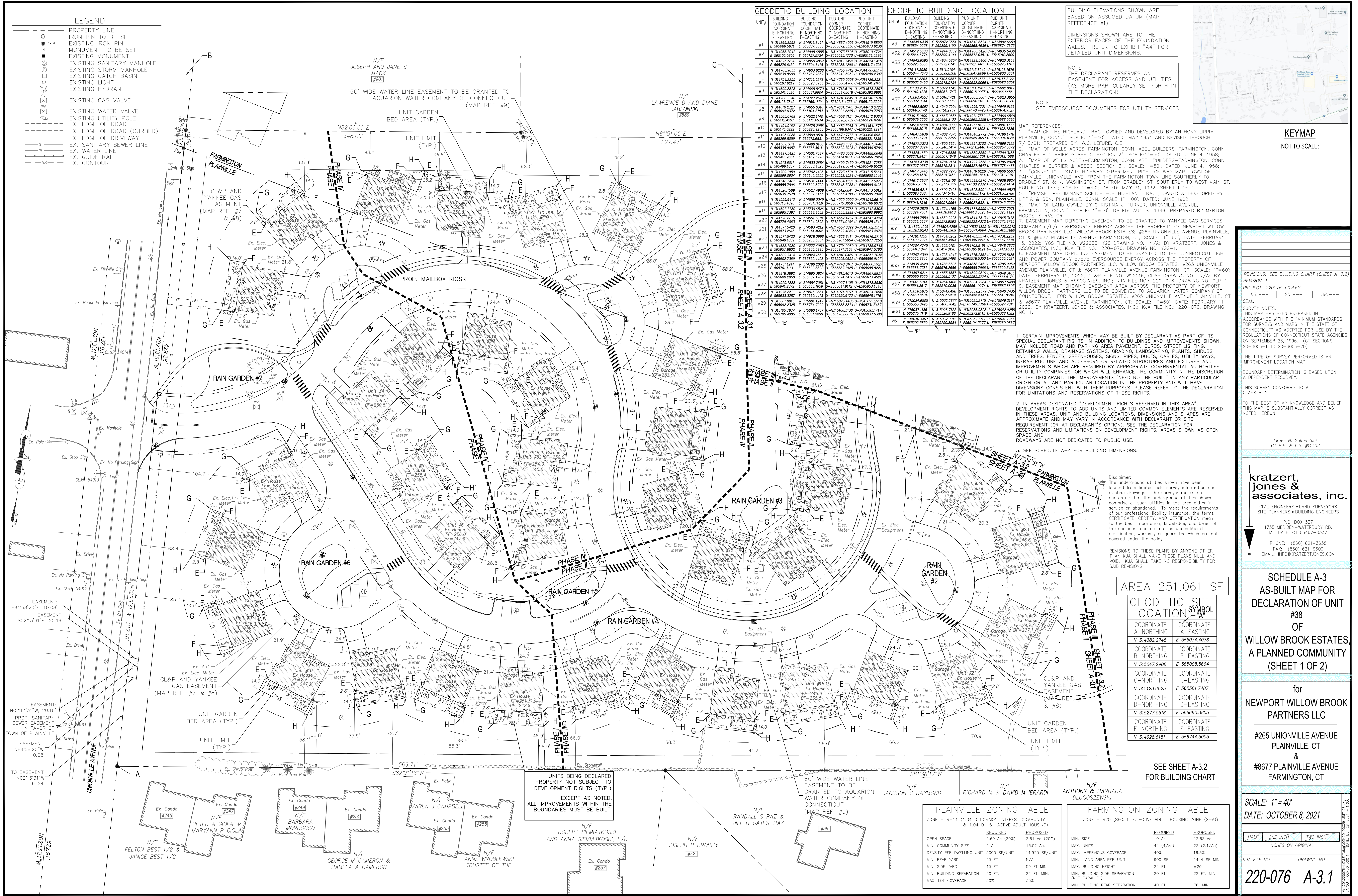
NOTE: ALL RAIN GARDENS SHALL INCORPORATE NON-INVASIVE NATIVE PLANTINGS

BIORETENTION SOIL MIXTURE

Item:	Composition by Volume:	Specification:
Planting Soil	30%	"Sandy Loam" with following Composition by Weight: Sand (2.0-0.050mm) 50-80%, Silt (0.050-0.002mm) 0-50%, Clay (<0.002mm) 10-20%, Organic Matter (1.5-10%)
Shredded 2x Hardwood Mulch	20%	
Sand	50%	ASTM C33 Fine Aggregate







LEGEND

—	PROPERTY LINE
—	IRON PIN TO BE SET
—	EXISTING IRON PIN
—	MONUMENT TO BE SET
—	EXISTING MONUMENT
—	EXISTING SANITARY MANHOLE
—	EXISTING STORM MANHOLE
—	EXISTING CATCH BASIN
—	EXISTING LIGHT
—	EXISTING HYDRANT
—	EXISTING GAS VALVE
—	EXISTING WATER VALVE
—	EXISTING UTILITY POLE
—	EX. EDGE OF ROAD
—	EX. EDGE OF ROAD (CURBED)
—	EX. EDGE OF DRIVEWAY
—	EX. SANITARY SEWER LINE
—	EX. WATER LINE
—	EX. GUIDE RAIL
—	EX. CONTOUR

GEODETIC BUILDING LOCATION

UNIT#	BUILDING FOUNDATION COORDINATE	BUILDING FOUNDATION COORDINATE	PUD UNIT CORNER COORDINATE	PUD UNIT CORNER COORDINATE
	N—NORTHING	E—EASTING	N—NORTHING	E—EASTING
#1	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#2	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#3	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#4	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#5	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#6	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#7	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#8	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#9	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#10	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#11	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#12	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#13	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#14	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#15	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#16	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#17	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#18	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#19	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#20	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#21	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#22	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#23	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#24	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#25	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#26	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#27	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#28	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#29	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#30	N 31466.892	E 56506.971	N 31467.400	E 56507.400

GEODETIC BUILDING LOCATION

UNIT#	BUILDING FOUNDATION COORDINATE	BUILDING FOUNDATION COORDINATE	PUD UNIT CORNER COORDINATE	PUD UNIT CORNER COORDINATE
	N—NORTHING	E—EASTING	N—NORTHING	E—EASTING
#31	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#32	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#33	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#34	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#35	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#36	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#37	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#38	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#39	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#40	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#41	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#42	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#43	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#44	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#45	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#46	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#47	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#48	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#49	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#50	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#51	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#52	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#53	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#54	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#55	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#56	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#57	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#58	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#59	N 31466.892	E 56506.971	N 31467.400	E 56507.400
#60	N 31466.892	E 56506.971	N 31467.400	E 56507.400

REVISIONS: SEE BUILDING CHART (SHEET A-3.2)

REVISION-1:

PROJECT: 220076-LOVELY

DR: --- SR: --- DR: ---

SEAL:

SURVEY NOTES:

THIS MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED FOR USE BY THE REGULATIONS OF CONNECTICUT STATE AGENCIES ON SEPTEMBER 26, 1996. (CT SECTIONS 20-30b-1 TO 20-30b-20).

THE TYPE OF SURVEY PERFORMED IS AN: IMPROVEMENT LOCATION MAP.

BOUNDARY DETERMINATION IS BASED UPON: A DEPENDENT RESURVEY.

THIS SURVEY CONFORMS TO A: CLASS A-2

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

1. CERTAIN IMPROVEMENTS WHICH MAY BE BUILT BY DECLARANT AS PART OF ITS SPECIAL DECLARANT RIGHTS, IN ADDITION TO BUILDINGS AND IMPROVEMENTS SHOWN, MAY INCLUDE ROAD AND PARKING AREA PAVEMENT, CURBS, STREET LIGHTING, RETAINING WALLS, DRAINAGE SYSTEMS, GRADING, LANDSCAPING, PLANTS, SHRUBS AND TREES, FENCES, GREENHOUSES, SIGNAGE, UTILITIES, UTILITY WAYS, INFRASTRUCTURE AND ACCESSORY OR RELATED STRUCTURES AND FIXTURES AND IMPROVEMENTS WHICH ARE REQUIRED BY APPROPRIATE GOVERNMENTAL AUTHORITIES, OR WHICH WILL ENHANCE THE COMMUNITY IN THE DISCRETION OF THE DECLARANT. THE IMPROVEMENTS "NEED NOT BE BUILT" IN ANY PARTICULAR ORDER OR AT ANY PARTICULAR LOCATION IN THE PROPERTY AND WILL HAVE DIMENSIONS CONSISTENT WITH THEIR PURPOSES. PLEASE REFER TO THE DECLARATION FOR LIMITATIONS AND RESERVATIONS OF THESE RIGHTS.

2. IN AREAS DESIGNATED "DEVELOPMENT RIGHTS RESERVED IN THIS AREA", DEVELOPMENT RIGHTS TO ADD UNITS AND LIMITED COMMON ELEMENTS ARE RESERVED IN THESE PLANS. UNIT AND BUILDING LOCATIONS, DIMENSIONS AND SHAPES ARE APPROXIMATE AND MAY VARY IN ACCORDANCE WITH DECLARANT OR SITE REQUIREMENT (OR AT DECLARANT'S OPTION). SEE THE DECLARATION FOR RESERVATIONS AND LIMITATIONS ON DEVELOPMENT RIGHTS. AREAS SHOWN AS OPEN SPACES ARE NOT DEDICATED TO PUBLIC USE.

3. SEE SCHEDULE A-4 FOR BUILDING DIMENSIONS.

James N. Sokonick  
C.T.P.E. & L.S. #11302

kratzert, jones & associates, inc.

CIVIL ENGINEERS • LAND SURVEYORS  
SITE PLANNERS • BUILDING ENGINEERS

P.O. BOX 337  
1755 MERIDEN-WATERBURY RD.  
MIDDLETOWN, CT 06467-0337

PHONE: (860) 621-3638  
FAX: (860) 621-9609  
EMAIL: INFO@KRATZERTJONES.COM

REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

AREA 251,061 SF

GEODETIC SITE LOCATION SYMBOL

COORDINATE	COORDINATE
N—NORTHING	A—EASTING
N 314382.2748	A 565034.4076
COORDINATE	COORDINATE
B—NORTHING	B—EASTING
N 315047.2908	E 565008.5664
COORDINATE	COORDINATE
C—NORTHING	C—EASTING
N 315123.6025	E 565581.7487
COORDINATE	COORDINATE
D—NORTHING	D—EASTING
N 315277.0516	E 566660.3805
COORDINATE	COORDINATE
E—NORTHING	E—EASTING
N 314628.6181	E 566744.5005

SEE SHEET A-3.2 FOR BUILDING CHART

PLAINVILLE ZONING TABLE

ZONE	REQUIRED	PROPOSED
OPEN SPACE	2.60 Ac (20%)	2.61 Ac (20%)
MIN. COMMUNITY SIZE	2 Ac.	13.02 Ac.
DENSITY PER DWELLING UNIT	5000 SF/UNIT	14,925 SF/UNIT
MIN. REAR YARD	25 FT	N/A
MIN. SIDE YARD	15 FT	59 FT MIN.
MIN. BUILDING SEPARATION	20 FT.	22 FT. MIN.
MAX. LOT COVERAGE	50%	33%

FARMINGTON ZONING TABLE

ZONE	REQUIRED	PROPOSED
MIN. SIZE	10 Ac.	12.63 Ac.
MAX. UNITS	44 (4/Ac)	23 (2.1/Ac)
MAX. IMPERVIOUS COVERAGE	40%	16.3%
MIN. LIVING AREA PER UNIT	900 SF	1444 SF MIN.
MAX. BUILDING HEIGHT	24 FT.	±20'
MIN. BUILDING SIDE SEPARATION (NOT PARALLEL)	20 FT.	22 FT. MIN.
MIN. BUILDING REAR SEPARATION	40 FT.	76' MIN.

SCHEDULE A-3  
AS-BUILT MAP FOR  
DECLARATION OF UNIT  
#38  
OF  
WILLOW BROOK ESTATES,  
A PLANNED COMMUNITY  
(SHEET 1 OF 2)

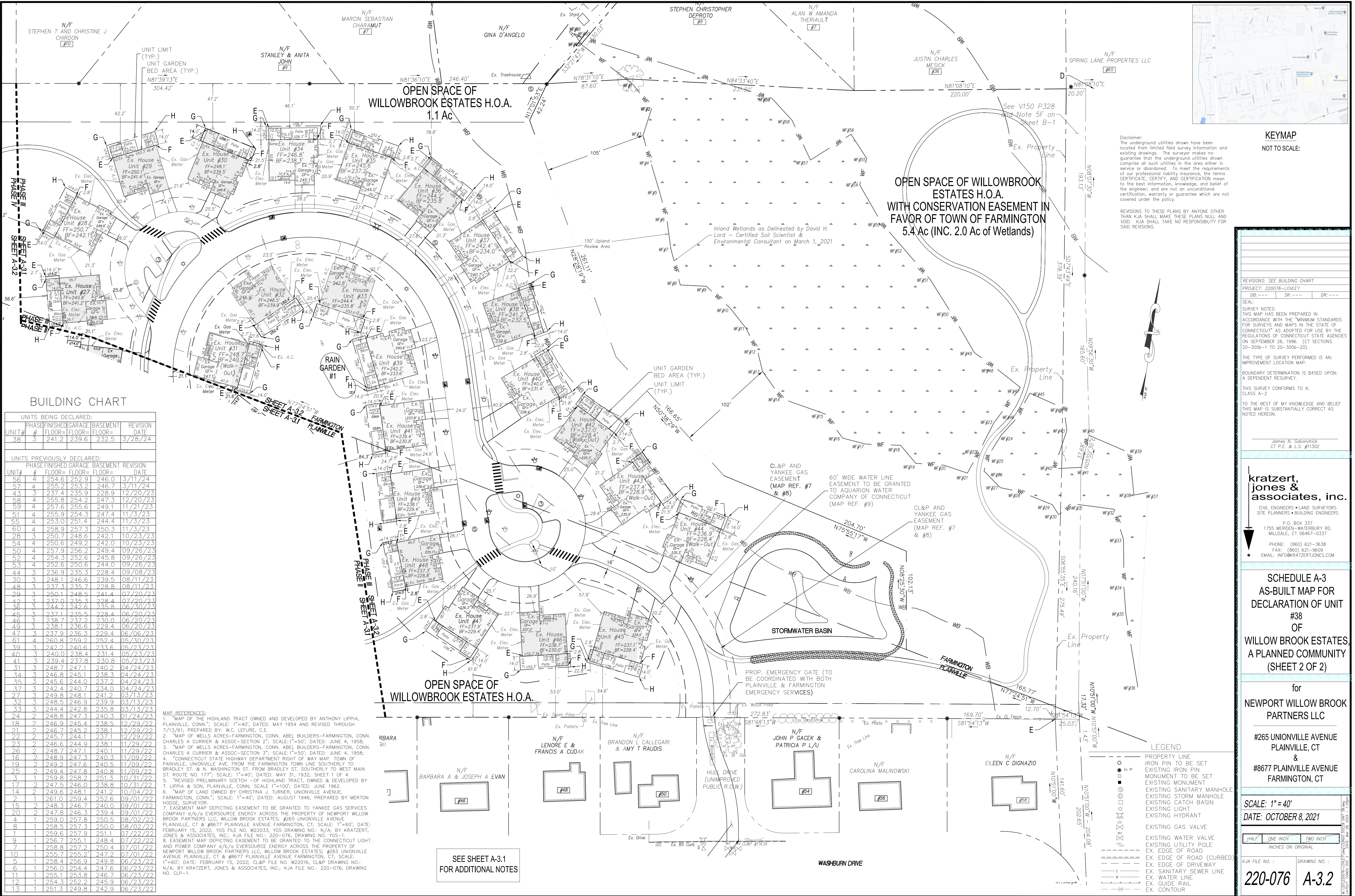
for  
NEWPORT WILLOW BROOK  
PARTNERS LLC

#265 UNIONVILLE AVENUE  
PLAINVILLE, CT  
&  
#8677 PLAINVILLE AVENUE  
FARMINGTON, CT

SCALE: 1" = 40'  
DATE: OCTOBER 8, 2021

KJA FILE NO.:  
DRAWING NO.:  
220-076 A-3.1





BUILDING CHART

UNITS BEING DECLARED:					
UNIT#	#	PHASE	FINISHED FLOOR=	GARAGE FLOOR=	REVISION DATE
38	3		241.2	239.6	232.5 3/28/24

UNITS PREVIOUSLY DECLARED:					
UNIT#	#	PHASE	FINISHED FLOOR=	GARAGE FLOOR=	REVISION DATE
56	4		254.6	252.9	246.0 3/11/24
57	4		255.2	253.2	246.7 3/11/24
43	3		237.4	235.9	228.9 12/20/23
58	4		255.8	254.2	247.3 12/20/23
59	4		257.6	255.6	249.1 11/21/23
51	4		255.9	254.3	247.4 11/3/23
55	4		253.0	251.4	244.4 11/3/23
60	4		258.9	257.3	250.3 11/3/23
28	3		250.7	248.6	242.1 10/23/23
54	4		250.6	249.2	242.0 10/23/23
50	4		257.9	256.2	249.4 09/26/23
52	4		254.3	252.6	245.8 09/26/23
53	4		252.6	250.6	244.0 09/26/23
44	3		236.9	235.3	228.4 09/08/23
30	3		248.1	246.6	239.5 08/11/23
48	3		237.3	235.7	228.8 08/11/23
29	3		250.1	248.5	241.4 07/20/23
42	3		237.0	235.3	228.4 07/20/23
36	3		244.2	242.6	235.8 06/30/23
45	3		237.1	235.5	228.4 06/20/23
46	3		238.7	237.2	230.0 06/20/23
49	3		238.1	236.6	229.4 06/20/23
47	3		237.9	236.3	229.4 06/08/23
61	4		260.8	259.2	252.4 05/30/23
59	3		242.2	240.6	233.6 05/23/23
40	3		240.0	238.4	231.4 05/23/23
41	3		239.4	237.8	230.8 05/23/23
31	3		248.7	247.1	240.2 04/24/23
34	3		246.8	245.1	238.3 04/24/23
35	3		245.6	244.0	237.2 04/24/23
37	3		242.4	240.7	234.0 04/24/23
27	3		249.8	248.1	241.2 03/13/23
32	3		248.5	246.9	239.9 03/13/23
33	3		244.4	242.8	235.8 03/13/23
24	2		248.8	247.3	240.3 01/24/23
18	2		246.9	245.4	238.5 12/29/22
21	2		246.7	245.2	238.1 12/29/22
22	2		245.7	244.1	237.1 12/29/22
23	2		246.6	244.9	238.1 11/29/22
26	2		248.7	247.1	240.1 11/29/22
16	2		248.9	247.3	240.3 11/09/22
19	2		249.2	247.6	240.5 11/09/22
25	2		249.4	247.8	240.8 11/09/22
3	1		259.8	258.2	251.3 10/31/22
17	2		247.5	246.0	238.8 10/31/22
14	2		249.6	248.1	241.2 10/04/22
15	2		248.3	246.8	239.6 09/01/22
20	2		247.8	246.3	239.4 09/01/22
4	1		259.0	257.8	250.5 08/02/22
8	1		258.5	257.3	250.0 08/02/22
1	1		259.6	257.9	251.1 07/22/22
9	1		256.7	255.1	248.4 07/22/22
7	1		258.8	257.2	250.4 07/01/22
10	1		255.7	255.2	247.2 07/01/22
5	1		258.4	256.9	249.8 06/23/22
6	1		256.0	254.4	247.6 06/23/22
11	1		255.1	253.8	246.7 06/23/22
12	1		254.3	252.2	245.9 06/23/22
13	1		251.3	249.8	242.9 06/23/22

MAP REFERENCES:

- "MAP OF THE HIGHLAND TRACT OWNED AND DEVELOPED BY ANTHONY LIPPIA, PLAINVILLE, CONN."; SCALE: 1"=40'; DATED: MAY 1954 AND REVISED THROUGH 7/13/61; PREPARED BY: W.C. LEFURE, C.E.
- "MAP OF WELLS ACRES-FARMINGTON, CONN. ABEL BUILDERS-FARMINGTON, CONN. CHARLES A CURRIER & ASSOC-SECTION 2"; SCALE: 1"=50'; DATED: JUNE 4, 1958;
- "MAP OF WELLS ACRES-FARMINGTON, CONN. ABEL BUILDERS-FARMINGTON, CONN. CHARLES A CURRIER & ASSOC-SECTION 3"; SCALE: 1"=50'; DATED: JUNE 4, 1958;
- "CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP, TOWN OF PLAINVILLE, UNIONVILLE AVE. FROM THE FARMINGTON TOWN LINE SOUTHERLY TO BRADLEY ST. & N. WASHINGTON ST. FROM BRADLEY ST. SOUTHERLY TO WEST MAIN ST. ROUTE NO. 177"; SCALE: 1"=40'; DATED: MAY 31, 1932; SHEET 1 OF 4.
- "REVISED PRELIMINARY SCETCH -OF HIGHLAND TRACT, OWNED & DEVELOPED BY T. LIPPIA & SON, PLAINVILLE, CONN.; SCALE 1"=100'; DATED: JUNE 1962.
- "MAP OF LAND OWNED BY CHRISTINA J. TURNER, UNIONVILLE AVENUE, FARMINGTON, CONN."; SCALE: 1"=40'; DATED: AUGUST 1946; PREPARED BY MERTON HODGE, SURVEYOR.
- EASEMENT MAP DEPICTING EASEMENT TO BE GRANTED TO YANKEE GAS SERVICES COMPANY d/b/s EVERSOURCE ENERGY ACROSS THE PROPERTY OF NEWPORT WILLOW BROOK PARTNERS LLC, WILLOW BROOK ESTATES; #265 UNIONVILLE AVENUE PLAINVILLE, CT & #8677 PLAINVILLE AVENUE FARMINGTON, CT; SCALE: 1"=60'; DATE: FEBRUARY 15, 2022; YGS FILE NO. W22033, YGS DRAWING NO.: N/A; BY KRATZERT, JONES & ASSOCIATES, INC.; KJA FILE NO.: 220-076, DRAWING NO. YGS-1.
- EASEMENT MAP DEPICTING EASEMENT TO BE GRANTED TO THE CONNECTICUT LIGHT AND POWER COMPANY d/b/s EVERSOURCE ENERGY ACROSS THE PROPERTY OF NEWPORT WILLOW BROOK PARTNERS LLC, WILLOW BROOK ESTATES; #265 UNIONVILLE AVENUE PLAINVILLE, CT & #8677 PLAINVILLE AVENUE FARMINGTON, CT; SCALE: 1"=60'; DATE: FEBRUARY 15, 2022; CL&P FILE NO. W22016, CL&P DRAWING NO.: N/A; BY KRATZERT, JONES & ASSOCIATES, INC.; KJA FILE NO.: 220-076, DRAWING NO. CLP-1.

SEE SHEET A-3.1 FOR ADDITIONAL NOTES

**KEYMAP**  
NOT TO SCALE:

Disclaimer:  
The underground utilities shown have been located from limited field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. To meet the requirements of our professional liability insurance, the terms CERTIFICATE, CERTIFY, AND CERTIFICATION mean to the best information, knowledge, and belief of the engineer; and are not on unconditional certification, warranty or guarantee which are not covered under the policy.

REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

REVISIONS: SEE BUILDING CHART  
PROJECT: 220076-LOVLEY  
DB:--- SR:--- DR:---

SEAL:  
SURVEY NOTES:  
THIS MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED FOR USE BY THE REGULATIONS OF CONNECTICUT STATE AGENCIES ON SEPTEMBER 26, 1996. (CT SECTIONS 20-300b-1 TO 20-300b-20).

THE TYPE OF SURVEY PERFORMED IS AN: IMPROVEMENT LOCATION MAP.  
BOUNDARY DETERMINATION IS BASED UPON: A DEPENDENT RESURVEY.

THIS SURVEY CONFORMS TO A: CLASS A-2

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

James N. Sokonick  
CT P.E. & L.S. #13302

**kratzer, jones & associates, inc.**  
CIVIL ENGINEERS • LAND SURVEYORS  
SITE PLANNERS • BUILDING ENGINEERS  
P.O. BOX 337  
1755 MERIDEN-WATERBURY RD.  
MILDALE, CT 06467-0337  
PHONE: (860) 621-3638  
FAX: (860) 621-9609  
EMAIL: INFO@KRATZERTJONES.COM

**SCHEDULE A-3**  
**AS-BUILT MAP FOR**  
**DECLARATION OF UNIT**  
**#38**  
**OF**  
**WILLOW BROOK ESTATES,**  
**A PLANNED COMMUNITY**  
**(SHEET 2 OF 2)**

for  
**NEWPORT WILLOW BROOK**  
**PARTNERS LLC**

**#265 UNIONVILLE AVENUE**  
**PLAINVILLE, CT**  
**&**  
**#8677 PLAINVILLE AVENUE**  
**FARMINGTON, CT**

**SCALE: 1" = 40'**  
**DATE: OCTOBER 8, 2021**

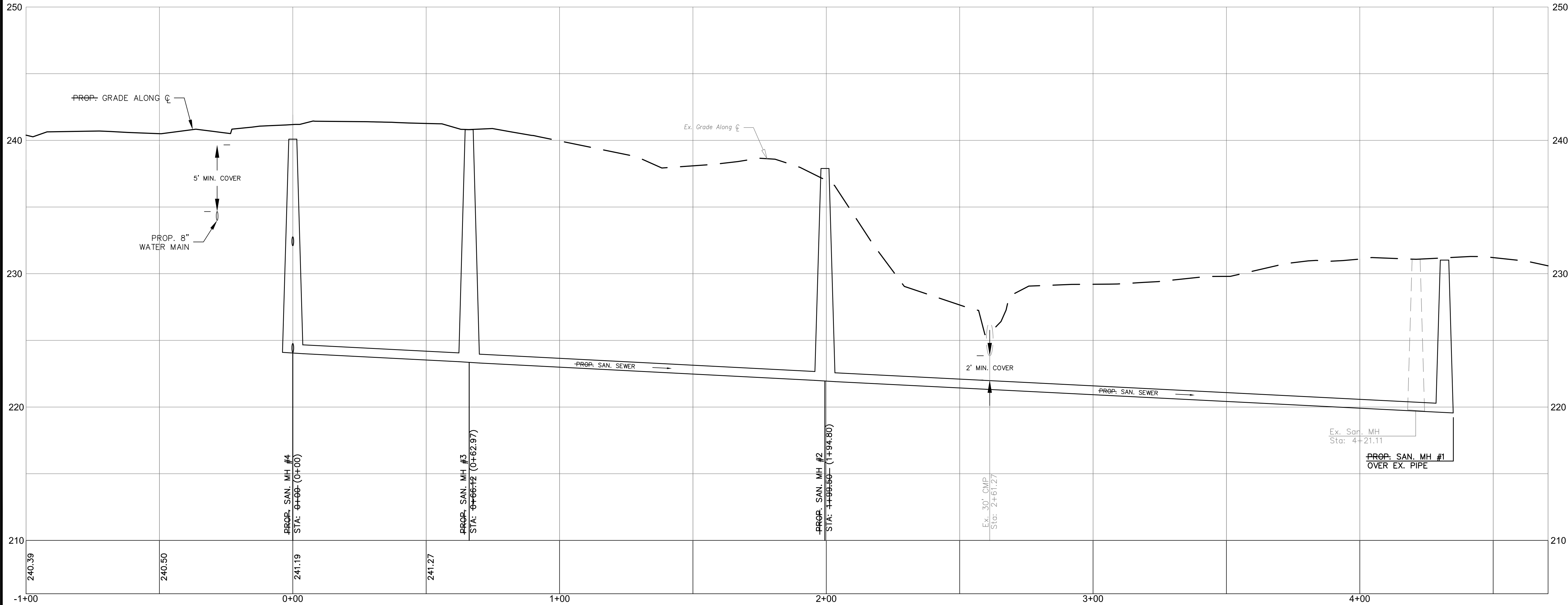
HALF	ONE INCH	TWO INCH
INCHES ON ORIGINAL		

KJA FILE NO. : 220-076  
DRAWING NO. : A-3.2

PROPERTY LINE  
IRON PIN TO BE SET  
EXISTING IRON PIN  
MONUMENT TO BE SET  
EXISTING MONUMENT  
EXISTING SANITARY MANHOLE  
EXISTING STORM MANHOLE  
EXISTING CATCH BASIN  
EXISTING LIGHT  
EXISTING HYDRANT  
EXISTING GAS VALVE  
EXISTING WATER VALVE  
EXISTING UTILITY POLE  
EX. EDGE OF ROAD  
EX. EDGE OF ROAD (CURBED)  
EX. EDGE OF DRIVEWAY  
EX. SANITARY SEWER LINE  
EX. WATER LINE  
EX. GUIDE RAIL  
EX. CONTOUR



39



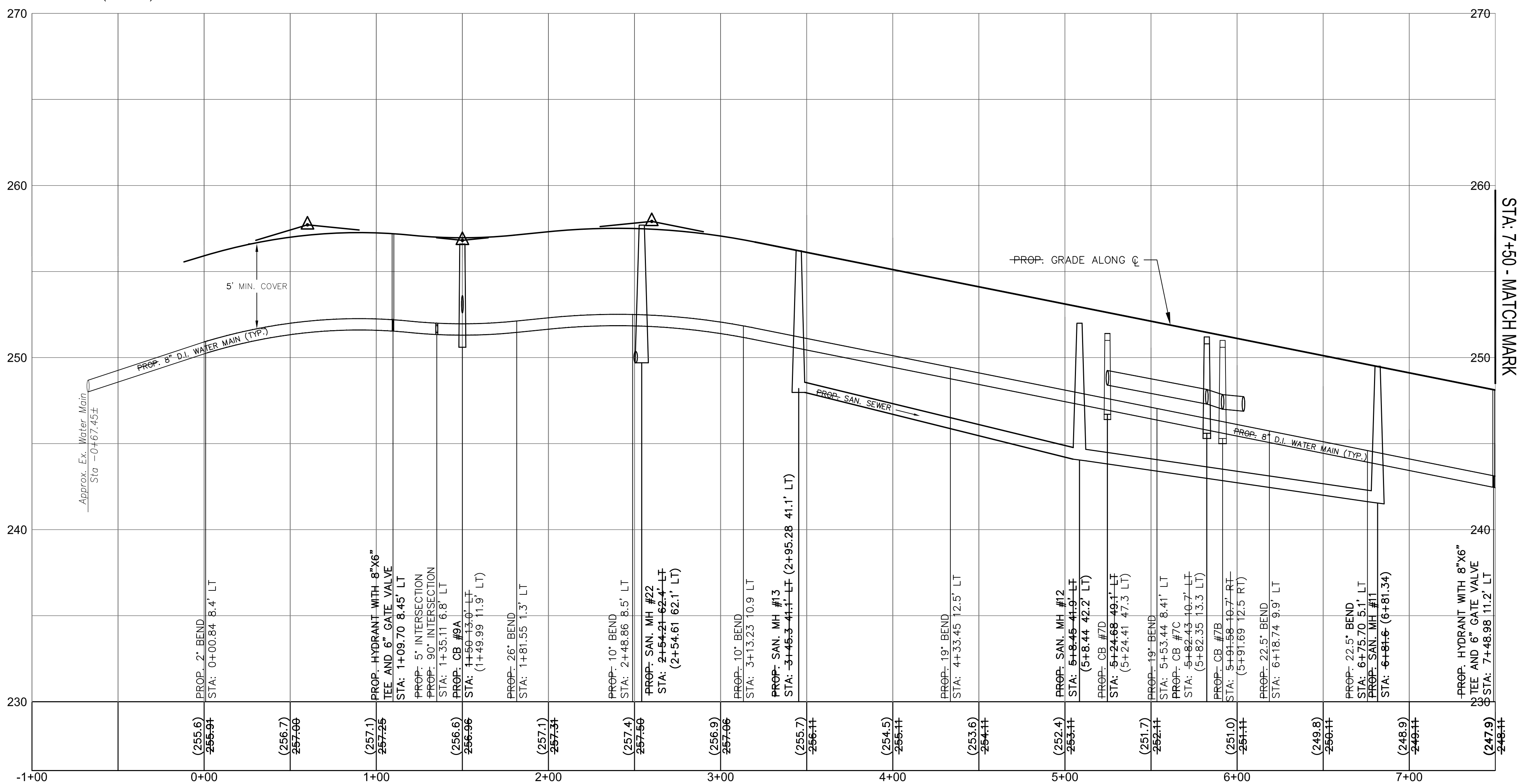
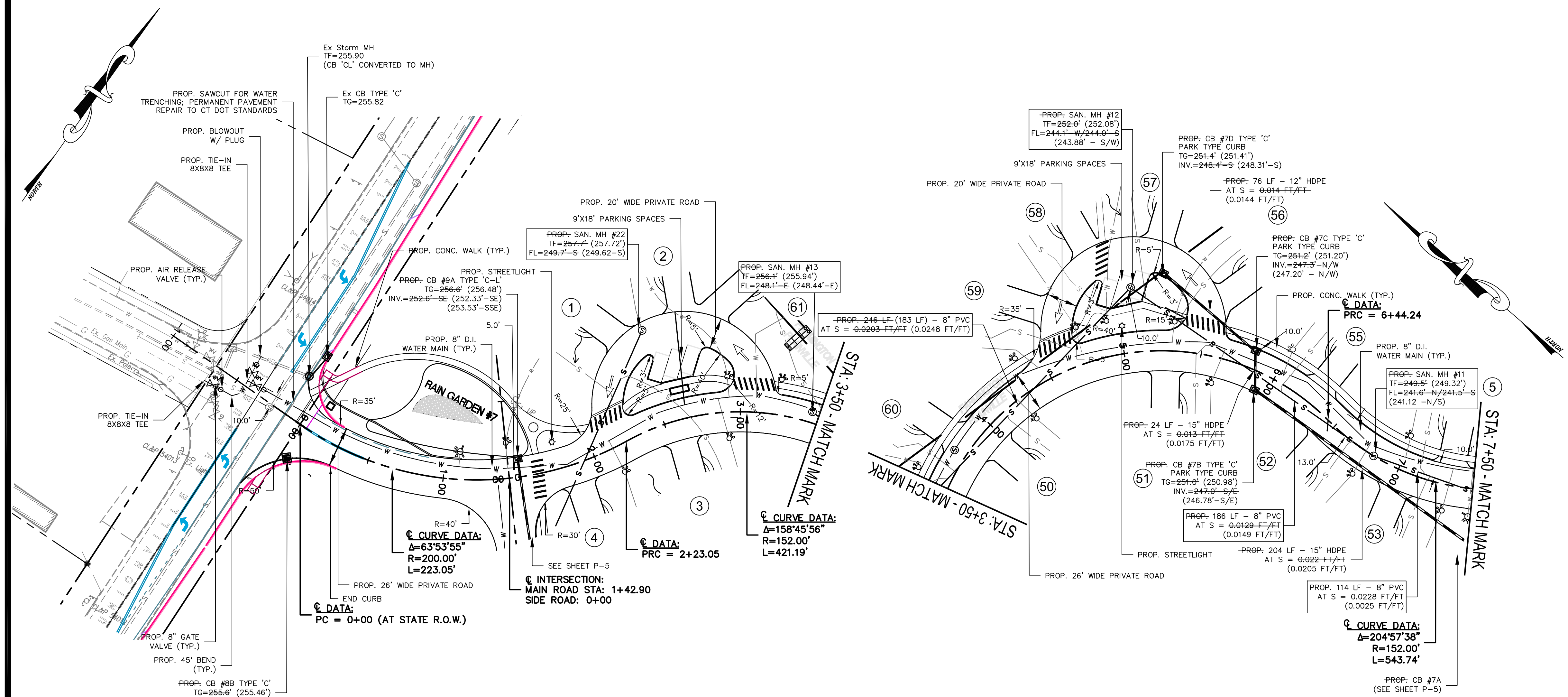
REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

REVISION-7:		
REVISION-6:		
REVISION-5:		
REVISION-4:		
REVISION-3:		
REVISION-2:		
REVISION-1: 7/26/2024 - TOWN COMMENTS		
PROJECT:		
DB: AQ/NRA/JG	SR: ---	DR: AQ
SEAL:		

220-076	P-1
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\\20\220076-LOWEY\dwg\PROFILES (ASBUILT).dwg  
 PLOT: P-1 DATE: Jul 29, 2024 - 11:46am





- LEGEND**
- PROPERTY LINE
  - IRON PIN TO BE SET
  - EXISTING IRON PIN
  - MONUMENT TO BE SET
  - EXISTING MONUMENT
  - EXISTING SANITARY MANHOLE
  - EXISTING STORM MANHOLE
  - EXISTING CATCH BASIN
  - EXISTING LIGHT
  - EXISTING HYDRANT
  - EXISTING GAS VALVE
  - EXISTING WATER VALVE
  - EXISTING UTILITY POLE
  - EX. EDGE OF ROAD
  - EX. EDGE OF ROAD (CURBED)
  - EX. EDGE OF DRIVEWAY
  - EX. SANITARY SEWER LINE
  - EX. WATER LINE
  - EX. GUIDE RAIL
  - EX. CONTOUR
  - PROP. PROPERTY LINE
  - PROP. SANITARY MANHOLE
  - PROP. STORM MANHOLE
  - PROP. CATCH BASIN
  - PROP. LIGHT
  - PROP. HYDRANT
  - PROP. GATE VALVE
  - PROP. EDGE OF ROAD
  - PROP. EDGE OF ROAD (CURBED)
  - PROP. EDGE OF DRIVEWAY
  - PROP. SANITARY SEWER LINE
  - PROP. WATER LINE

ELEVATIONS ARE REFERENCED TO  
NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

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REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

REVISION-7:
REVISION-6:
REVISION-5:
REVISION-4:
REVISION-3:
REVISION-2: 7/26/2024 - TOWN COMMENTS
REVISION-1: 6/27/2024 - ADDITIONAL DATA
PROJECT:
DB: AQ/NRA/JG SR: --- DR: AQ
SEAL:

Andrew J. Quirk  
CT P.E. #22588

**kratzer, KJA  
jones &  
associates, inc.**

CIVIL ENGINEERS • LAND SURVEYORS  
SITE PLANNERS • BUILDING ENGINEERS

P.O. BOX 337  
1755 MERIDEN-WATERBURY RD.  
MILDALE, CT 06467-0337

PHONE: (860) 621-3638  
FAX: (860) 621-9609  
EMAIL: INFO@KRATZERTJONES.COM

## AS-BUILT PLAN & PROFILE

for  
**WILLOW BROOK  
ESTATES  
MAIN ROAD**

**#265 UNIONVILLE AVENUE  
PLAINVILLE, CT  
&  
PLAINVILLE AVENUE  
FARMINGTON, CT**

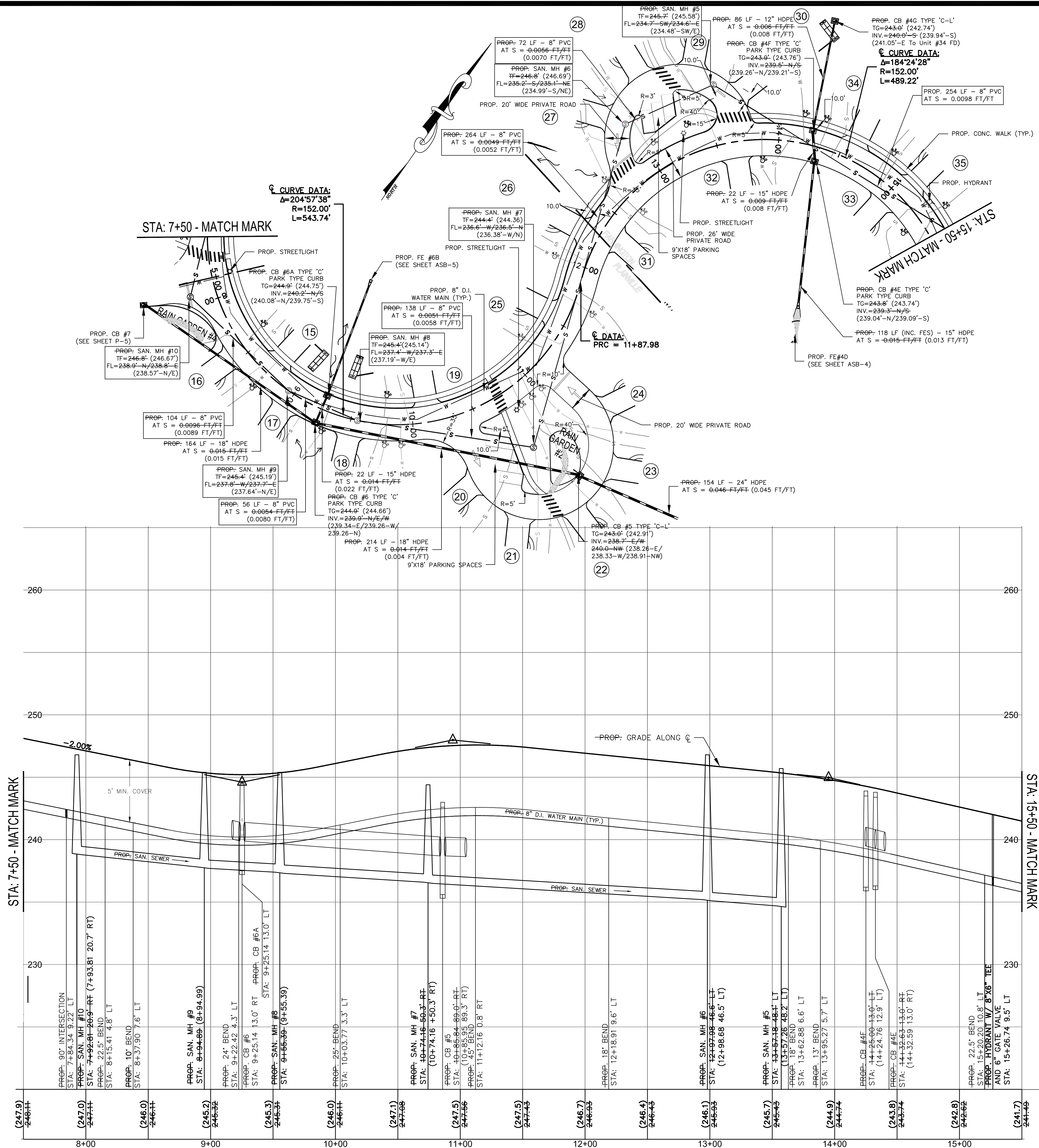
SCALE: 1" = 40'(H) / 4'(V)  
DATE: MAY 25, 2023

HALF	ONE INCH	TWO INCH
INCHES ON ORIGINAL		

KJA FILE NO.:  
**220-076**

DRAWING NO.:  
**P-2**





LEGEND	
	PROPERTY LINE
	IRON PIN TO BE SET
	EXISTING IRON PIN
	MONUMENT TO BE SET
	EXISTING MONUMENT
	EXISTING SANITARY MANHOLE
	EXISTING STORM MANHOLE
	EXISTING CATCH BASIN
	EXISTING LIGHT
	EXISTING HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EX. EDGE OF ROAD
	EX. EDGE OF ROAD (CURBED)
	EX. EDGE OF DRIVEWAY
	EX. SANITARY SEWER LINE
	EX. WATER LINE
	EX. GUIDE RAIL
	EX. CONTOUR
	PROP. PROPERTY LINE
	PROP. SANITARY MANHOLE
	PROP. STORM MANHOLE
	PROP. CATCH BASIN
	PROP. LIGHT
	PROP. HYDRANT
	PROP. GATE VALVE
	PROP. EDGE OF ROAD
	PROP. EDGE OF ROAD (CURBED)
	PROP. EDGE OF DRIVEWAY
	PROP. SANITARY SEWER LINE
	PROP. WATER LINE

ELEVATIONS ARE REFERENCED TO  
NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

Disclaimer:  
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REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

REVISION-7:
REVISION-6:
REVISION-5:
REVISION-4:
REVISION-3:
REVISION-2: 7/26/24 - TOWN COMMENTS
REVISION-1: 6/27/2024 - ADDITIONAL DATA
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AS-BUILT  
PLAN & PROFILE

for  
WILLOW BROOK  
ESTATES  
MAIN ROAD

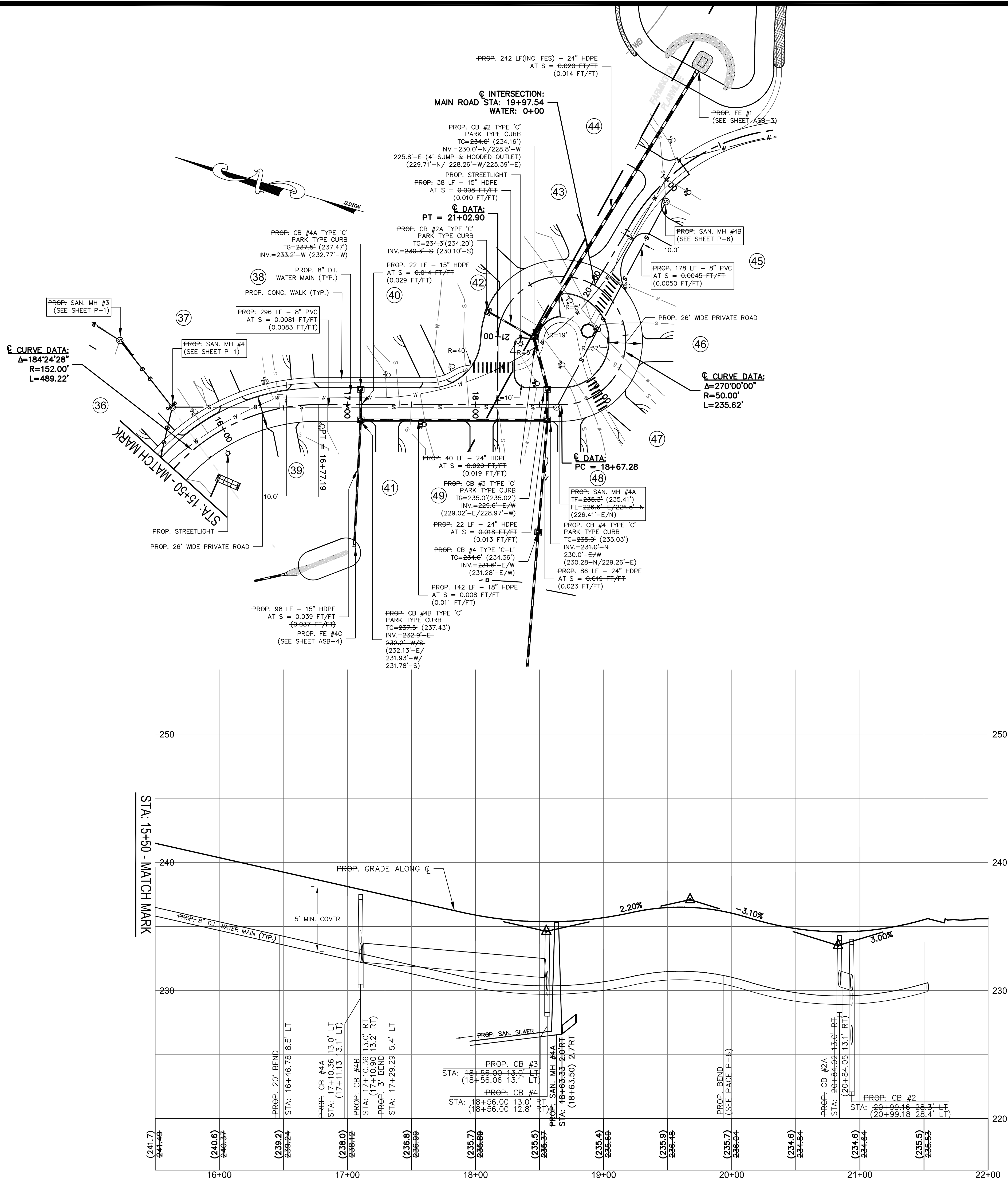
#265 UNIONVILLE AVENUE  
PLAINVILLE, CT  
&  
PLAINVILLE AVENUE  
FARMINGTON, CT

SCALE: 1" = 40'(H)/4'(V)  
DATE: MAY 25, 2023

HALF ONE INCH TWO INCH  
INCHES ON ORIGINAL

KJA FILE NO.: 220-076  
DRAWING NO.: P-3





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REVISION-1: 6/27/2024 - REVISIONS
PROJECT:
DB: AQ/NRA/JG SR: --- DR: AQ
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AS-BUILT  
PLAN & PROFILE

for  
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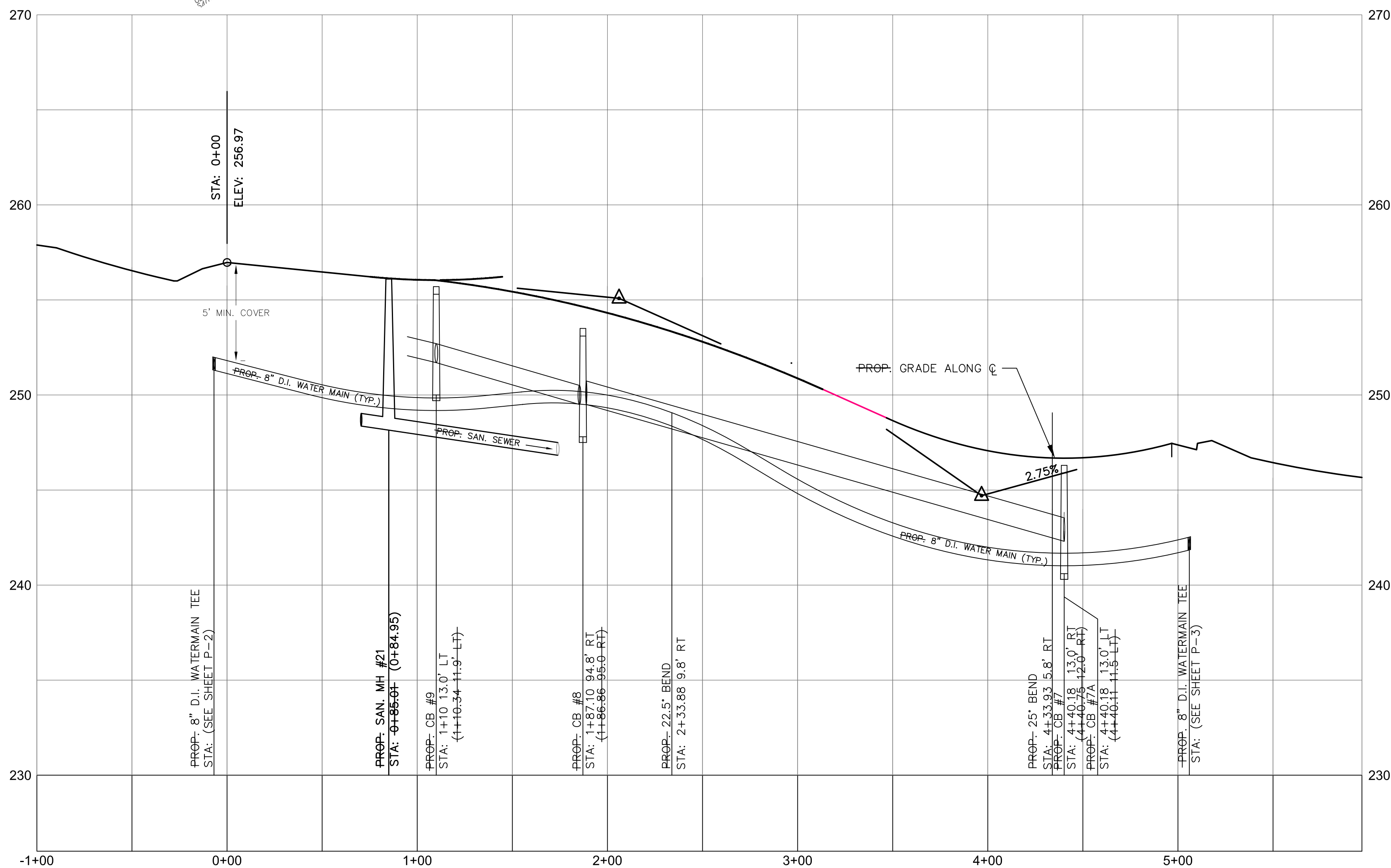
KJA FILE NO.:

220-076

DRAWING NO.:

P-4





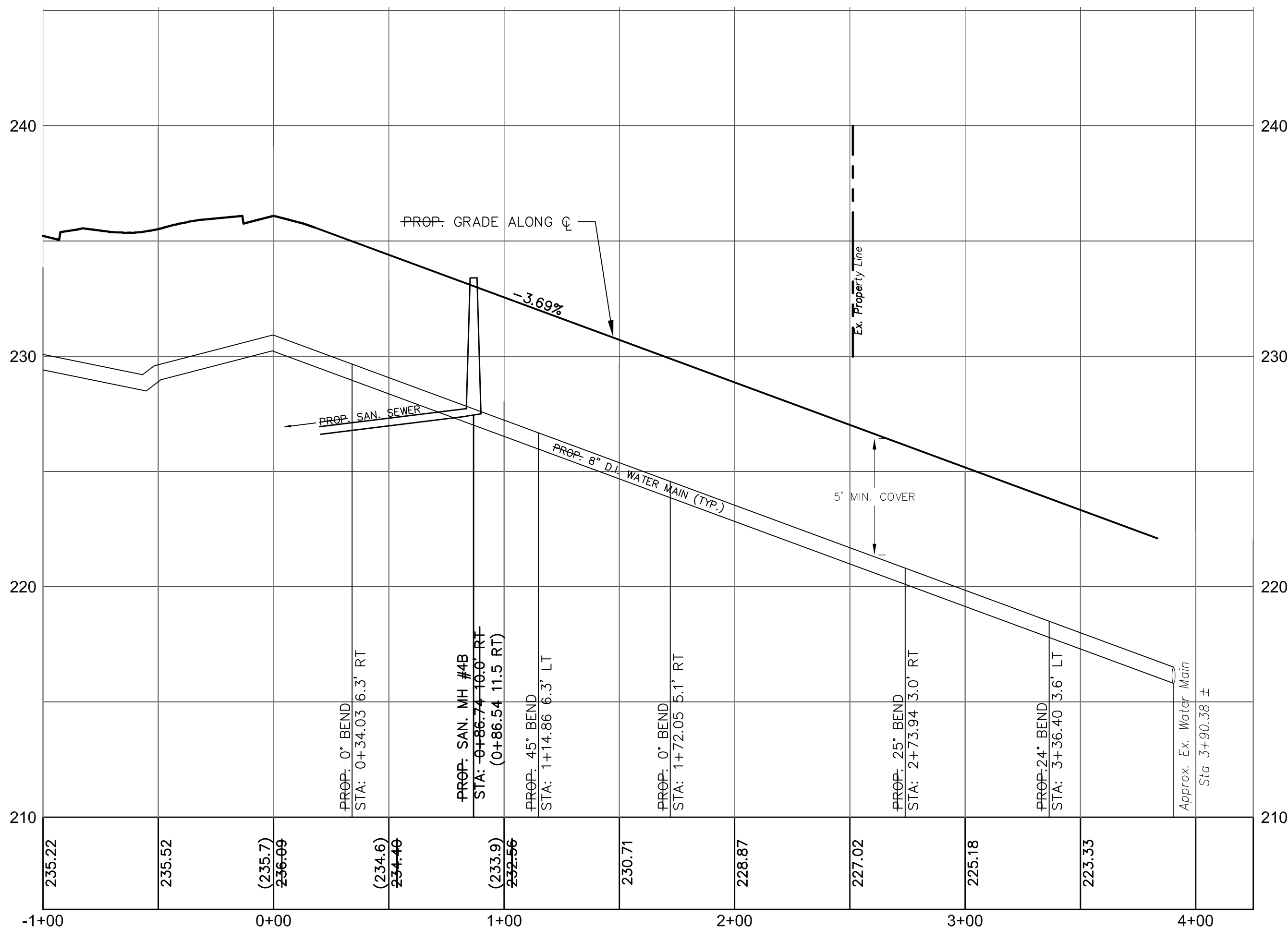
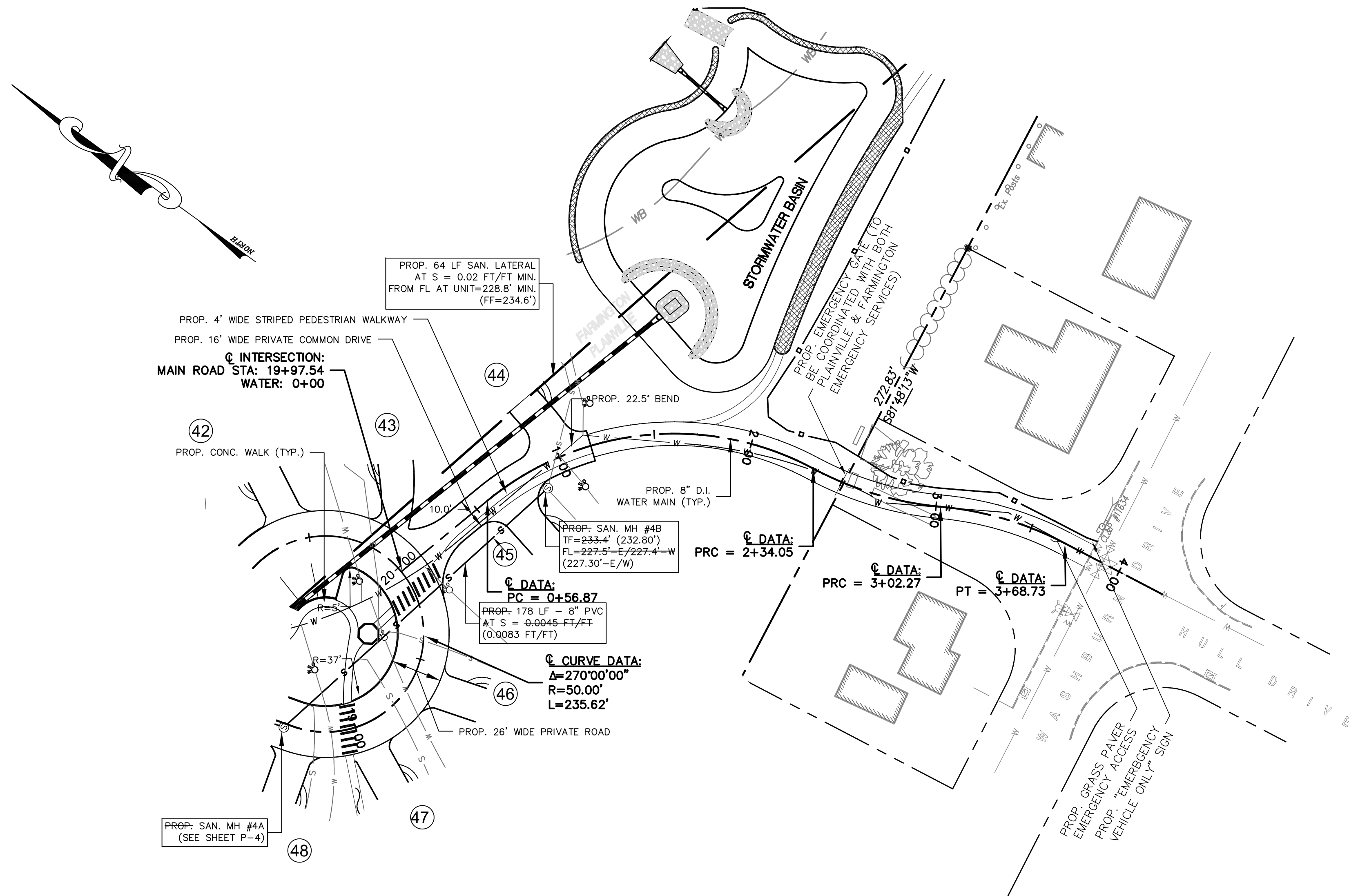
220-076 P-5

# LEGEND

----	PROPERTY LINE
○	IRON PIN TO BE SET
● Ex IP	EXISTING IRON PIN
■	MONUMENT TO BE SET
■	EXISTING MONUMENT
▣	EXISTING SANITARY MANHOLE
▣	EXISTING STORM MANHOLE
□	EXISTING CATCH BASIN
☆	EXISTING LIGHT
⋈	EXISTING HYDRANT
----	EXISTING GAS VALVE
WV	EXISTING WATER VALVE
----	EXISTING UTILITY POLE
-----	EX. EDGE OF ROAD
-----	EX. EDGE OF ROAD (CURBED)
-----	EX. EDGE OF DRIVEWAY
-----S	EX. SANITARY SEWER LINE
-----W	EX. WATER LINE
-----GS	EX. GUIDE RAIL
-----	EX. CONTOUR
----	PROP. PROPERTY LINE
⊙	PROP. SANITARY MANHOLE
⊕	PROP. STORM MANHOLE
⊕	PROP. CATCH BASIN
⊙	PROP. LIGHT
⋈	PROP. HYDRANT
WV	PROP. GATE VALVE
-----	PROP. EDGE OF ROAD
-----	PROP. EDGE OF ROAD (CURBED)
-----	PROP. EDGE OF DRIVEWAY
-----S	PROP. SANITARY SEWER LINE
-----W	PROP. WATER LINE

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LEGEND	
	PROPERTY LINE
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for  
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#265 UNIONVILLE AVENUE  
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KJA FILE NO. :

220-076

DRAWING NO. :

P-6