

S.E.C. & ASSOCIATES, INC.
Surveying & Engineering Consultants

December 23, 2025

Town of Sandown
Planning Board
320 Main Street
Po Box 1756
Sandown, NH 03873

Re: Planning Board Application for Site Plan
Tax Map 14 Lot 3-1
412 Main Street
Sandown, NH 03873

Intent

Dear Members of the Board and/or Commission,
Please find attached fees, applications, plans and all supporting data for the above referenced proposal. This is a request for site plan approval for the development proposal of the subject property, Tax Map 14 Lot 3-1. To best understand the request, a brief history of the property is provided as well as a detailed description of the current proposal.

Location:

This is a proposal that involves a single parcel of land identified as tax map 14 lot 3-1. The property contains 7.55 acres and is bounded entirely by residential dwellings. Access to the site is through a proposed driveway off of Main Street.

Existing Conditions:

Currently the property is undeveloped. The site is wooded throughout and a mix flat, moderate and steep slopes throughout. Soils range from well drained to moderately well drained soils within the uplands and very poorly drained soils within the wetlands. There is ledge present in a number of locations as well as areas with no restriction within the test pit profile. Soils and wetlands were mapped by Luke Hurley of Hurley Environmental & Land Planning.

There are two wetland complexes located on the site, one on the eastern portion of the site adjacent to Main Street and one on the western portion of the site. The wetland along the eastern portion of the site spans the entire frontage of the site.

Current Proposal:

This proposal consists of the construction of 32 recreational camping cabins with approximately 320-ft of driveway, 40 parking spaces, drainage facilities, and an on-site well and septic system. As noted above, a wetland spans the frontage of the site, and as such, direct impacts to the wetland are required to access the developable upland area on the site. The driveway location has been chosen to minimize impacts to the wetlands required for construction while also maintaining appropriate sight distance along Main Street. The total proposed impact for construction of the

P.O. Box 1337 * 15 Garden Road, Plaistow, NH 03865
Tel:(603) 382-5065 * Email: sec@secsurveying.com

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driveway is 2,300-SF, and a 24" culvert is proposed to maintain flow under the driveway. This culvert has been sized for up to and including the 50-year storm event with the calculations provided for review.

As part of the formal application a comprehensive drainage plan has been prepared by this office to support the proposed driveway and improvements. Drainage will be collected and routed through a series of best management practices, consisting of conveyance trenches, a detention basin, and an infiltration basin sized to address the Town of Sandown stormwater regulations. All drainage improvements have been designed in accordance with all Local regulations and are provided for review.

Waivers:

There are no known waivers required for this development at this time. The plan will be reviewed by the Fire Chief and Conservation Commission and their recommendations will be incorporated as part of the plan set.

Local Permitting:

In addition to this Board and the Conservation Commissions review of the application, we will be submitting the plans to both the Fire and Police Departments for their review of the project. A Conditional Use Permit is also being requested for the proposed wetland impacts.

State Permitting:

Several State permits are required for this project including NHDES Alteration of Terrain permit, NHDES Wetlands Bureau Dredge & Fill permit, NHDES Subsurface permit for the septic system, and NHDES Water Supply approval for the proposed well.

In all, please consider this narrative, the attached plans and all supporting data for review of the application. If you need any additional information or have any questions or concerns please feel free to contact me at the phone number or email address provided. I look forward to hearing from you. Thank you for the consideration.

Sincerely,



William Hall, P.E.
Vice President

APPLICATION FOR SITE PLAN REVIEW

(Appendix 1)

NOTE: See Section IV and Site Plan Application Checklist (Appendix 2) for required information.

1. Name, mailing address and telephone number of applicant (s)

The Sanctuary Estates, LLC

74 G.H. Carter Drive

Danville, NH 03819

2. Name, mailing address and telephone number of owner of record if other than applicant

3. Same as Applicant

4. _____

5. _____

6. Location of proposed site plan 412 Main Street

7. Town of Sandown Tax Map 14 Lot Number 3-1

8. Name of proposed site plan Site Plan for Tax Map 14 Lot 3-1, 412 Main Street

9. Number of dwelling units for which approval is sought 32 recreational camping cabins

10. Floor area if non-residential Ranging from 308-SF to 390-SF

11. Type(s) of buildings proposed in the site plan: (Check one or more than one)

32 cabins ☐ Non-residential ☐ Multi-family

12. Name, mailing address and telephone number of surveyor and/or agent

SEC & Associates, Inc

15 Garden Road, Plaistow, NH 03865 - (603) 382-5065

13. Name, mailing address and telephone number of soil scientists

Luke Hurley

PO Box 356, Epsom, NH 03234 - (603) 583-1745


14. Abutters: Attach a separate sheet listing the Town of Sandown Tax Map, Lot number, name and mailing address of all abutters, including those across a street, brook, or stream. Names should be those of current owners as recorded in the Town of Sandown Tax records five (5) days prior to submission of this application.

15. Attach three (3) copies of the (Amended April, 1991) "Street Improvement Guarantee Work Sheet," (reference Appendix 3) properly filled out by the developer's engineer. Note Well: The Town Engineer is not responsible for figuring the road costs. Any incomplete or improperly filled out sheets shall be returned to the developer, and this may result in a delay in the Site Plan approval. All questions concerning this bond (Appendix 5) should be directed to the Board, not the Town Engineer. If the developer is required to improve portions of existing Town roads, a separate bond for those improvements must be prepared. (Appendix 8)
16. Note Well: No Site Plan hearing shall be scheduled for the next month's meeting unless the following is submitted to the Town Hall before the fourth Wednesday of the preceding month: (Amended 11/19/91)
- This application, correctly completed with the required attachments.(Appendix 2)
 - Mylar and eight (8) copies of the final plan, including all pertinent information as required by the Site Plan Regulations, Sections IV and V.
 - Updated road profile, if applicable (8 copies).
 - Any additional information requested by the Board at a previous hearing necessary for final approval. (List below)
-


14. Fees (Amended December 7, 2010)(Amended December 2012)

Each lot/parcel or dwelling unit	\$ 50.00 x 32
Application fee	\$150.00
Handling Fee	\$ 20.00
Abutter Notification (\$10.00/each)	\$190.00
Amount Due: (Make check payable to "Town of Sandown, NH")	\$1,960.00
Proposed Road (per foot) _____ (Maximum of \$4,000)	\$ _____
Advertising/posting costs	\$200.00
For Site Plans without proposed roads, any engineering or professional costs.	\$1,000.00
Recording Fees: \$40 per plan sheet to be recorded, plus a separate check in the amount of \$25.00 payable to the "Rockingham County Registry of Deeds" to cover the State's LCHIP surcharge fee collected by the Registry at the time of recording	\$ _____
Amount Due: (Make check payable to "Sandown PREA") (Amended October, 2002)	\$ _____

The applicant and/or owner, or agent, certifies that this application is correctly completed with all required attachments and requirements as stated in Appendix 2 of this application, have been met, and that any additional costs for engineering or professional services incurred by the Sandown Planning Board or the Town of Sandown in the Site Plan review process of this property shall be borne by the applicant and/or owner.

 <small>7E95688630184F6...</small>	09/30/2025 08:54 PDT
Applicant and/or Owner, or Agent	Date

"I hereby authorize the Sandown Planning Board and its agents to access my land for the purposes of reviewing this subdivision plan, performing road inspections and any other inspections deemed necessary by the Board or its agents, to insure conformance of the on-site improvements with the approved plan and all Town of Sandown ordinances and regulations."
(Adopted November 1986)

 <small>7E95688630184F6...</small>	09/30/2025 08:54 PDT
Applicant and/or Owner, or Agent	Date

SITE PLAN APPLICATION CHECKLIST

(Appendix 2)

Name of Applicant: The Sanctuary Estates, LLC

Location of Property: 412 Main Street

Name of Site Plan: Site Plan for Tax Map 14 Lot 3-1

In order to be complete, a Site Plan application shall contain the following information, where applicable:

 X List of abutters and addresses: current, based on Town record, five days Prior to application submission. In addition, applicant shall submit, for each abutter, applicant and owner, a correctly addressed business envelope with: 1). Correct postage affixed (Postage stamp – do not meter); 2). A completed green return certified mail return receipt (form 3811); and 3). A completed white certified mail return receipt (form 3800) (Reference Appendix 6).

 X Eight (8) copies of the plat (plan) showing the following, where applicable:

X	Current Owner's Name & Address	X	Location of water courses, standing water or fire ponds
N/A	Option Holder's Name & Address	X	Location of ledges, stone walls & other natural features
X	Surveyor Name, Address & signed stamp	X	Other essential features
X	North Arrow	X	Topographical Map (2 ft. Intervals) Existing & proposed
X	Scale (not more than 100 feet to the inch)	X	Edges of wetlands and brooks
X	Date	X	Drainage calculations
X	Location (Locus) Map	X	Location of test pits and test pit logs
X	Tax map and parcel number	N/A	Common and dedicated land
X	Location & dimension of property lines including entire undivided lots	X	All development phases must be included showing sketches of prospective street systems
X	Abutting subdivision names, streets, easements, building lines, parks & public areas, & similar facts regarding abutting properties	X	Profiles of all proposed streets to include open water ways, water mains, storm sewers, culverts on a horizontal scale of 1" = 50' & vertical scale of 1" = 10'
X	Proposed driveway locations	X	Access locations to existing town & state highways
X	Location of existing & proposed easements or rights-of way; utility, slope and/or drainage	X	Title Block (See Appendix 7)

N/A	Location of existing buildings	N/A	Name, width, class & location of existing & proposed streets
N/A	Location of existing & proposed sewer & water lines and utilities	X	Drainage control: existing culverts & drains and proposed methods of providing surface drainage including sizes & types or classes of all pipes
X	Name, width, class & location of existing & proposed streets	X	HIS Map overlay with 5 digit nomenclature (by soil scientist certified by the NH Board of Natural Scientists) (Amended 4/16/91) showing soil types, slopes & calculations
X	All building and setback lines	X	Cross section of all proposed streets & driveways showing existing & proposed grades
Pending	Conservation District Review Authorization Form signed	N/A	Construction Plan
X	Copies of all applicable permits and applications for permits	Pending	Mylar
X	Drainage information (three (3) copies)	X	Certification by the surveyor that the field work undertaken in the preparation of the final plan has an error of closure no greater than 1 part in 10,000
X	Street plan and profile	X	Road profile
X	Approval block for Planning Board endorsement	Pending	Two copies of the "Street Improvement Guarantee Worksheet" (Amended 4/16/91)
X	Completed checklist with justification/explanation for any omissions	N/A	Base Flood Elevation (BFE) Data

"Reasonable fees in addition to fees for notice...may be imposed by the Board to cover its administrative expenses and costs of special investigative studies, review of documents and other matters which may be required by particular applications." (RSA 676:4 (g))

The following items may also be required by the Planning Board before final approval is granted:

- _____ Erosion and sediment control plans
- _____ Traffic Impact Analysis
- _____ Environmental Impact Studies
- _____ NH Wetlands Board Dredge & Fill Permit
- _____ Driveway Access Permits
- _____ NH WS & PCC Major Alteration Permit (149:8-a)
- _____ Construction and Maintenance Bonding
- _____ Town Engineer Review of Proposal
- _____ Miscellaneous Engineering Studies

SANDOWN PLANNING BOARD
P.O. Box 1756 | Sandown, NH 03873 | (603) 887-6085

CONDITIONAL USE PERMIT APPLICATION

Name of Applicant: The Sanctuary Estates, LLC

Mailing Address of Applicant: 74 G.H. Carter Drive, Danville, NH 03819

Telephone Number of Applicant: _____ **Cell Phone:** _____

Email: steffanbrown21@gmail.com

Name of Owner of Record: Same as Applicant

Mailing Address of Owner of Record: _____

Telephone Number of Owner of Record: _____ **Cell Phone:** _____

Email: _____

Location of proposed crossing: Approximately 100-ft off the shoulder of Main Street

Town of Sandown Tax Map: 14 **Lot Number:** 3-1

Is this a request for Conceptual Consultation: _____ **Design Review:** X

Name of Surveyor: SEC & Associates, Inc.

Mailing Address of Surveyor: 15 Garden Road, Plaistow, NH 03865

Telephone Number of Surveyor: (603) 382-5065 **Cell Phone:** _____

Email: whall@civildci.com

Name of Wetland/Soil Scientist: Luke Hurley

Mailing Address of Wetland/Soil Scientist: PO Box 356, Epsom, NH 03234

Telephone Number of Wetland/Soil Scientist: (603) 583-1745 **Cell Phone:** _____

Email: luke@hurleyelp.com

Abutters: Attach a separate sheet listing the Town of Sandown Tax Map, Lot Number, Name and Mailing Address of all abutters, including those across a street, brook or stream. Names should be those of current owners as recorded in the Town of Sandown Tax Records, five (5) days prior to the submission of this application. All abutter Notifications must be completed as per RSA 676:4. In addition, applicants shall submit for each abutter, applicant, owner and every engineer, architect, land surveyor, or soil scientist a correctly addressed with 1) correct postage affixed, 2) green return receipt (form 3811) white certified receipt (form 3800) completed.

Fees: Make payable to the Town of Sandown

Application Fee:	\$150.00		\$150.00
Advertising/Posting Costs	\$ 75.00		\$ 75.00
Abutter Notification (each)	\$5.00 x 19	=	\$ 95

(Including subdivider, applicant, etc.)

Total Due: Please make check payable to the "Town of Sandown" \$ 320

Professional Review Fees:(Make payable to Sandown PREA): (Amended February, 2004)

Engineering Review Costs:	\$300.00
Conservation Commission Consultant Review:	\$300.00

Total Due: Please make check payable to "Sandown PREA" \$ 600

Submission Items:

<u>Pending</u>	Application or approval from the State Wetlands Board
<u>X</u>	Demonstration that this proposal best utilizes the property
<u>X</u>	Two (2) complete sets of engineered plans along with drainage calculations, erosion control & sediment plans, and written impact statement
<u>Pending</u>	Receipt and enclosure from the Sandown Conservation Commission of a favorable report
<u>Pending</u>	Receipt and enclosure from the Planning Board Engineer for a favorable report
<u>X</u>	Attach two (2) copies of a 200 ft. scale drawing of final Plan

Note Well: No conditional use public hearing shall be scheduled for the next month's meeting unless the above is submitted to the Planning Board Office on the last Wednesday of the month between 9 a.m. and 11 a.m.

The subdivider, applicant and/or owner or agent, certifies that this application is correctly completed with all required attachments and requirements as stated in Section 9 and 11 of this application, have been met and that any additional costs for engineering or professional services incurred by the Sandown Planning Board or the Town of Sandown in the final subdivision process of this property shall be borne by the subdivider, applicant and/or owner.

09/30/2025 | 08:54 PDT

Date

Signed by:

STEFFAN BROWN

7E95689630184E6

Subdivision and/or Owner or Agent

"I hereby authorize the Sandown Planning Board and its agents to access my land for the purpose of reviewing this subdivision plan, performing road inspections and any other inspections deemed necessary by the Board or its agents, to insure conformance of the on-site improvements with the approved plan and all Town of Sandown ordinances and regulations." (Adopted Nov., 1986)

09/30/2025 | 08:54 PDT

Date

Signed by:

STEFFAN BROWN

7E95689630184E6

Subdivision and/or Owner or Agent

S.E.C. & ASSOCIATES, INC.
Surveying & Engineering Consultants

Site Plan
Abutters List

Owner:

Tax Map 14 Lot 3-1
The Sanctuary Estates, LLC
74 G.H. Carter Drive
Danville, NH 03819

Abutters:

Tax Map 14 Lot 3
Kalin Shumsky
416 Main Street
Sandown, NH 03873

Tax Map 14 Lot 4-2
William A Parasco
422 Main Street
Sandown, NH 03873

Tax Map 14 Lot 9A
Stoneford Homeowners
Association
17 Commerce Drive
Bedford, NH 03110

Tax Map 14 Lot 10
Nicholas Nicosia
415 Main Street
Sandown, NH 03873

Tax Map 14 Lot 11
Jill M Harper
Daniel T Walker
409 Main Street
Sandown, NH 03873

Tax Map 14 Lot 19
Amanda Parolise
Howard McKew
406 Main Street
Sandown, NH 03873

Tax Map 14 Lot 19-62
Russell D Horrocks
Alyson B Horrocks
33 Montana Drive
Sandown, NH 03873

Tax Map 14 Lot 19-64
Osvaldino R Tavares
31 Montana Drive
Sandown, NH 03873

Tax Map 14 Lot 19-66
David W Hargreaves
Sandra T Hargreaves
23 Montana Drive
Sandown, NH 03873

Tax Map 14 Lot 19-66-1
Timothy P Fitzgerald
Paul & Deborah Fitzgerald
Family Trust
25 Montana Drive
Sandown, NH 03873

Tax Map 14 Lot 19-68
William P Fanning Jr
15 Montana Drive
Sandown, NH 03873

Tax Map 14 Lot 19-70
David A & Eileen M
Hutchinson Jr
Hutchinson Family
Revocable Trust
9 Montana Drive
Sandown, NH 03873

Tax Map 14 Lot 19-70-1
Mathew Loeblich
Loeblich Family Revocable
Trust
5 Montana Drive
Sandown, NH 03873

Tax Map 14 Lot 19-73
Charles Pollano
Shawn Dias
9 Mallard Lane

Surveyor/Engineer:
S.E.C. and Associates, Inc.
P.O. Box 1337
Plaistow, NH 03865

Wetland/Soil Scientist:
Hurley Environmental and
Land Planning, LLC
PO Box 356
Epsom, New Hampshire
03234

Attorney:
Gallagher, Callahan &
Gartrell
214 North Main Street
Concord, NH 03301

Fire Protection
SFC Engineering
183 Rockingham Road Unit
3 East
Windham, NH 03087

P.O. Box 1337 * 15 Garden Road, Plaistow, NH 03865
Tel: (603) 382-5065 * Email: sec@secsurveying.com

September 29, 2025


Town of Sandown
Planning Board
320 Main Street
Po Box 1756
Sandown, NH 03873

**Re: Planning Board Application for Site Plan
The Sanctuary Estates, LLC
Tax Map 14 Lot 3-1
412 Main Street
Sandown, NH 03873**

Dear Members of the Board,

Please accept this letter as formal authorization to allow SEC & Assoc. Inc., Gallagher, Callahan & Gartrell, and SFC Engineering and their agents to represent me before all municipal bodies, as may be applicable, including but not limited to ZBA, Planning Board, Conservation Commission, and Board of Selectmen, as may be required throughout the permitting process pertaining to the above referenced amended site plan.

Sincerely,

Signed by:

7E96600630184E8...
Steffan Brown
The Sanctuary Estates, LLC











FIRE PROTECTION AND LIFE SAFETY NARRATIVE

Sanctuary Estates – Main Street– Sandown, NH

Client:	Steffan Brown 412 Main Street Sandown, NH 03873	Date:	9/29/2025
Attn:	Steffan Brown steffanbrown21@gmail.com	SFC Engineering Contact:	Gabriel Bitzer, P.E. Fire Protection Engineer

SFC Engineering Partnership, Inc. (SFC) is providing a fire protection and life safety narrative for a proposed outdoor property. It is SFC's understanding that the project will consist of thirty-two (32) single story cabins, two (2) assembly pavilions, and two (2) propane fired fireplaces, as well as a small storage shed/structure. All buildings/structures will be located on a newly developed site and will be of Type VB / Type V(000) construction. SFC also understands that the cabins are to be classified as "Recreational Camping Cabins" by RSA 216-I:1 VII-A.

The buildings are considered to be temporary use occupancies with the site being used for overnight accommodations (one or two night stays) for guests attending events in the area. The cabins will include a small beverage station limited to microwave and coffee stations as well as their own private restrooms. The pavilions will be constructed of a concrete or similar slab on grade material with an overhead structure that will be open on all sides. The site will be supported by emergency standby generators.

This narrative focuses on the following major life safety items prescribed by NFPA 101, the IBC, the IRC, RSA 216-I:1, as well as NFPA 1194:

- Construction Type & Materials / Height and Area
- Occupancy Classification
- Fire Suppression and Requirements
- Fire Alarm and Detection Requirements
- Interior Finishes
- Fireplaces/Fires
- Means of Egress (capacity, sizing, and arrangement)
- Fire-Resistance-Rated Separations (corridor / vertical openings)

CODE ANALYSIS

Applicable Codes

The cabins are understood to be classified as Recreational Camping Cabins in accordance with RSA 216-I:1 VII-A, which defines such cabins as structures located on a campsite and limited to 400 square feet or less. To confirm that the appropriate codes and standards were applied, SFC consulted with the New Hampshire State Fire Marshal's Office regarding fire and life safety applicability. Based on that guidance, these recreational cabins were reviewed against the applicable building and fire code requirements consistent with one- and two-family dwellings. One- and two-family dwellings are not required to comply with the IBC, but instead comply with the IRC pursuant to the exception in IBC Section 101.2. NFPA 1 and NFPA 101 continue to establish applicable fire and life safety requirements for one- and two-family dwellings.

The pavilions are considered Group A-2 assembly occupancies under the IBC and NFPA 101 and are therefore subject to the applicable State Building and Fire Code requirements. The site as a whole is also subject to the applicable provisions of NFPA 1, including requirements related to fire department access.

Construction Type / Height and Area

As previously stated, all buildings currently proposed on the site are to be constructed of non-rated combustible construction which is considered to be Type VB/V(000) construction. The IRC does not establish height and area requirements for One-and Two-Family dwellings based on their proposed construction type. However, in order to be considered “Recreational Camping Cabins” in accordance with RSA 216-I:1 VIIA, they are required to be 400 square feet or less, measured from the exterior of the cabin, including all siding, corner trim, molding, and area enclosed by windows, but not the roof or porch overhang, or log overhang at corners. The proposed height and area of the cabins are consistent with the RSA 216-I:1 VIIA requirements.

For the proposed pavilion structures and storage shed, the height and area provisions of the IBC are still applicable. The analysis of the height and area is shown below:

Occupancy	Allowable Area w/o Sprinkler (ft ²) (NS)	Allowable Number of Stories	Allowable Height above Grade (ft)	Compliant (Y/N)
A-3	6,000	1	40	Y
S-1	9,000	1	40	Y

The IBC and IRC also establish requirements for the rating of exterior walls where building are located in close proximity to one another. Per IRC Table R302.1(1), exterior walls on One-and Two-Family dwellings are not required to be rated where they are located at least 5 feet away from an adjacent structure. The cabins are currently separated by a distance of 11 feet and no rating of the exterior walls is required.

MEANS OF EGRESS

Occupant Load

Based upon the proposed use of the spaces, the occupant load is determined as follow:

Space	Area (SF)	Function of Space	Occupant Load Factor (SF/person)	Occupant Load
Recreational Cabin	400	One-and Two-Family Dwelling	N/A	2 or 4 (per cabin)
Pavilion	2,400	Assembly - unconcentrated	15	160 (per pavilion)
Equipment Shed	400 (assumed)	Moderate Hazard Storage	500	1

Exit Number and Arrangement

Recreational Camping Cabins

Both the IRC and NFPA 101 Chapter 24 establish means of egress requirements as well as provisions for secondary means of escape. The proposed cabins include a variation of layouts with one- or two-bedroom options. Per NFPA Section 24.2.2.1.1, dwellings with two rooms or more require every sleeping room and every living area to be provided one primary means of escape and one secondary means of escape. A primary means of escape is permitted to be a door, stairway, or ramp providing a means of unobstructed travel to the outside of the dwelling unit at the finished

ground level (NFPA 101 §24.2.2.3.1). A secondary means of escape can be an outside window or door operable from the inside without the use of tools, keys, or special effort and must provide a clear opening of not less than 5.7 square feet. The width cannot be less than 20 inches and the height cannot be less than 24 inches, with the bottom of the opening not being more than 44 inches above the floor (NFPA 101 §24.2.2.3.3).

Per IRC Section R310.1, basements, habitable attics, and every sleeping room must have at least one operable emergency escape and rescue opening that opens directly into a public way or to a yard or court having a minimum width of 36 inches that opens to a public way. Similarly to NFPA 101, these openings are permitted to be a door, window, or similar opening. Where windows are intended to be used, they must have a net clear opening of no less than 5.7 square feet (IRC §R310.2.1). They must have a minimum opening height of 24 inches and opening width of 20 inches with these dimensions provided as a result of normal operation of the opening (IRC §R310.2.2). Additionally, they must have the bottom of the clear opening be no more than 44 inches above the floor (IRC §R310.2.3).

The proposed cabin layouts are currently provided with the required amount of openings from each sleeping room

Pavilion(s)

For assembly occupancies, NFPA 101 and the IBC typically require at least two means of egress. It is SFC's understanding that sides of the pavilions are to be open at all times. Therefore, occupants are able to egress from the pavilion structure in any direction meeting exit requirements.

Travel Distance and Common Path of Travel

The following table includes the limits on exit arrangement and travel distances established for the occupancies based upon IBC Section 1020.5, NFPA 101 Table A.7.6, and Table 1006.2.1:

Occupancy Group	Max Travel Distance (Sprinklered)	Common Path Limitations (Sprinklered)	Dead-End Corridor (Limitations)
A-3	200 ft	75 ft	20 ft
S-1	200 ft	50 ft	50 ft

The proposed egress arrangement from the pavilions is compliant with the listed arrangement criteria.

The IRC and NFPA 101 do not establish specific dimensional requirements for travel distance, common path of travel, or dead-ends in One- and Two-Family Dwellings. Therefore, the proposed arrangement of the cabins would be deemed compliant.

Egress Capacity

Per IRC Section R311.2, at least one egress door shall be provided for each dwelling unit. The door must be side hinged and provide a clear width of at least 32 inches. The clear height of the door must be at least 78 inches and the door must also be readily openable from inside the dwelling without the use of a key or special knowledge or effort. Based on the proposed size of the cabin doors and width of openings within the pavilion, sufficient egress capacity is provided on the site.

Emergency Lighting

NFPA 101 Chapter 24 and the IRC do not establish any provisions that require emergency lighting within One- and Two-Family Dwellings. Therefore, the cabins would not need emergency lighting, but are required to be provided with artificial lighting compliant with the IRC.

For the assembly pavilions, IBC Section 1008.2 requires that the means of egress serving the pavilions be illuminated at all times that the space is occupied. This illumination shall not be less than 1 footcandle at the walking surface and the power supply must be normally provided by the premises' electrical supply (IBC §1008.2.1 & §1008.3). As the

pavilions are not provided with a typical means of egress such as stairs or a corridor, this lighting should be provided along walking paths which lead to the parking lot or the exits of the premises.

INTERIOR FINISH

Wall and Ceiling Finishes

Per IRC Section R302.9.1, wall and ceiling finishes within One-and Two-Family Dwellings must have a flame spread index of not greater than 200 and a smoke index of not greater than 450. NFPA 101 Section 24.3.3.2 also requires that interior wall and ceiling finishes be Class A, B, or C.

As the pavilions are open structures, interior finishes for the walls would be limited to columns supporting the structure. They are also provided with a ceiling structure which is required to meet the ceiling finishes for an assembly occupancy. NFPA 101 Table A.10.2.2 requires at least a Class C finish to be provided.

Floor Finishes

The IRC and NFPA 101 Chapter 24 do not establish floor finish requirements for One- and Two-Family Dwellings. For the pavilions, Per IBC 804.4.2 and NFPA 101 Table A.10.2.2, Group A (Assembly) occupancies require at least a Class II finish rating.

SUPPRESSION AND DETECTION

Automatic Sprinkler

For One-and Two-Family dwellings, both the IRC and NFPA 101 establish requirements for automatic sprinkler systems. Per NFPA 101 Section 24.3.5.1 and IRC Section R313.2, all new one-and two-family dwellings are required to be sprinklered. However, the State of NH has amended this requirement to exempt new detached one-and two-family dwellings from requiring sprinkler systems. **Therefore, the cabins are not required to be provided with an automatic sprinkler system.**

The pavilions must meet the Assembly (A-3) sprinkler protection requirements of both the IBC and NFPA 101. IBC Section 903.2.1.3 and NFPA 101 Section 12.3.5.2 require an automatic sprinkler system be provided where the occupant load of any structure exceeds 300 persons. **SFC determined the occupant load of the pavilion to be 160 persons, and an automatic sprinkler is not required by NFPA 101 or the IBC.**

Fire Alarm and Detection Requirements

Per IRC Section R314.3 and NFPA 101 Section 24.3.4.1.1, hardwired, interconnected smoke alarms are to be installed in each sleeping room, outside each separate sleeping area in the immediate vicinity of the bedrooms, no less than 3 feet horizontally from the door or opening of a bathroom that contains a bathtub or shower, and in the hallway and in the room open to the hallway in dwelling units where the ceiling height of a room open to a hallway serving bedrooms exceeds that of the hallway by 24 inches or more.

A fire alarm and detection system is required in assembly occupancies where the occupant load exceeds 300 persons (NFPA 101 §12.3.4 & IBC §907.2.1). As the occupant load of the pavilions were independently calculated to be 160 persons, no fire alarm system would be required.

Fire Extinguishers

Fire extinguishers are not explicitly required to be provided within the cabins by the IRC or NFPA 101 Chapter 24.

Per IBC Section 906.1(1) and NFPA 1 Table 13.6.1.2, portable fire extinguishers are to be installed in all Group A-3 (Assembly) occupancies. The extinguishers are to be sized and spaced as required by NFPA 10.

FIRE RESISTANCE RATED CONSTRUCTION

Fire Resistance Ratings – Corridors

No corridors are present on the site.

Fire Resistive Separations – Vertical Openings

No vertical openings are present on the site.

Protection From Hazards – Fire Resistance Rated Construction

No incidental occupancies are present on the site.

FIREPLACES

The site is currently provided with two propane gas-fired fireplaces. As such, additional provisions of the applicable codes can be applied. In general, RSA 216-I:9 establishes the following requirement for fireplaces on camping grounds:

- All fireplaces in recreational campgrounds or camping parks shall be on an area cleaned to mineral soil at least 8 feet across. Where fires are built on the ground, there shall be at least 6 inches of sand or gravel under the fire.
- All tree limbs or other burnable material within a height of 10 feet above the fireplace area shall be removed.
- Fireplaces shall not be moved.
- Fire shall not be kindled except in fireplaces provided by recreational campgrounds or camping parks.
- Recreational campground or camping park owners or operators or their agents shall obtain a fire permit as required pursuant to RSA 227-L and by the Town of Sandown.

END OF REPORT

Project: 412 Main Street
Location: Sandown, NH
Client: The Sanctuary Estates

Project Number: 25-3372
Prepared By: William Hall, P.E.
Date: September 29, 2025

Soil Based Lot Sizing Calculations

Lot 1

Soil	Area Required	Area Provided	Carrying Capacity
221BH	40000	45658	1.14
221CH	45000	26377	0.59
321BH	50000	10088	0.20
321CH	75000	64967	0.87
421BH	75000	11910	0.16

Total: **159000** **2.95**

GPD Allowed: 5427

S.E.C. & Associates, Inc.
Surveying & Engineering Consultants

December 23, 2025

Re: "The Sanctuary Estates"
Camping Cabin Development
Owner & Developer: The Sanctuary Estates, LLC
412 Main Street
Sandown, NH


Project Summary:

The applicant proposes the construction of a camping cabin development consisting of 32 units. One new private driveway is proposed and is approximately 300-FT long.

A trip generation analysis has been performed and is attached. The calculations attached demonstrate that the proposed subdivision would have a negligible increase in traffic along Main Street and adjacent local roads. NHDOT has measured the traffic counts along Main Street, approximately 1,200-FT south of the site. The Annual Average Daily Traffic (AADT) was 3,837 trips through this stretch of road. The attached Trip Generation Analysis estimates that 83 trips would be generated on a weekday by the proposed development, which represents an approximately 2.2% increase of daily trips along Main Street. Combined with a controlled intersection and clear sight lines, the proposed driveway will provide a safe intersection along Main Street.

If you need any additional information or have any questions or concerns, please feel free to contact me at the phone number or email address provided. I look forward to hearing from you. Thank you for your consideration.

Sincerely,



William Hall, P.E.
Vice President

P.O. BOX 1337 * 15 GARDEN ROAD * PLAISTOW, NH 03865
TEL: (603) 382-5065 EMAIL: SEC@SECSURVEYING.COM



0 400 800



Feet



TCDS Locations

- WMM
- Short Count Class
- Short Count Volume
- Perm Class
- Perm Volume

New Hampshire
DOT
Department of Transportation

12/23/2025

Project: The Sanctuary Estates
Location: Sandown, NH
Client: The Sanctuary Estates, LLC

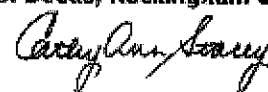
Project Number: 25-3372
Prepared By: William Hall, P.E.
Date: December 23, 2025

TRIP GENERATION ANALYSIS

Proposed Trip Generation

Use	# Units	AM Peak Hour	PM Peak Hour	Weekday Total
Campground/RV Park (ITE Code 416)	32	7.04	9.28	82.88

Return To:
Eric G. Scott
Steffan Brown
80 West Portsmouth Street
Concord, NH 03301



LCHIP	ROA724061	25.00
RECORDING		14.00
SURCHARGE		2.00

Transfer Tax: \$-0-

QUITCLAIM DEED

KNOW ALL PERSONS BY THESE PRESENTS, That, **Eric G. Scott**, with a mailing address of 80 West Portsmouth Street, Concord, NH 03301 and **Steffan Brown**, with a mailing address of 74 GH Carter Drive, Danville, NH 03819, for consideration paid grants to **The Sanctuary Estates, LLC**, a New Hampshire limited liability company, with a mailing address of 80 West Portsmouth Street, Concord, NH 03301, with QUITCLAIM COVENANTS:

Two certain parcels of land, with the buildings thereon, situate in Sandown, County of Rockingham and State of New Hampshire, described as follows:

PARCEL ONE:

Beginning at an iron pipe and stone at the southeast corner, bounded on the south by land now or formerly of Priscilla D. Bassett;

1. Running Westerly by said Bassett land to an iron pipe and stone to land now or formerly of George S. Sanborn;
2. Running Northerly by said Sanborn land to an iron pipe and stone;
3. Running Easterly by said Sanborn land to the Hunt Road, so-called;
4. Running Southerly by said Hunt Road to the point of beginning.

PARCEL TWO:

Beginning at a stone bound at the southeast corner of said land by the highway leading from Sandown to Chester and known as the Hunt Road, and by land formerly of John W. Lovering;

1. Running Westerly by said Lovering land to land reserved for a highway and known as a range way;

William Hall

From: William Hall
Sent: Tuesday, December 16, 2025 8:02 AM
To: 'Michael Devine'
Subject: RE: 412 Main Street Conceptual Plan
Attachments: 3372-Site Plan [09-17-25].pdf

Hi Chief Devine,

Correct, between the concept design and final design an adjustment was made, though it remains similar. If you would like to see adjustments made to the turnaround area or the template used, please let me know.

For fire protection, we are making a revision to include a 30,000 gallon cistern. That is not reflected on the attached set, but will be on the next iteration of the plans.

Thanks,
Bill

William Hall, P.E. ^{MA, NH}
Vice President
CIVIL DESIGN CONSULTANTS, INC
15 Garden Road
Plaistow, NH 03865
Tel: (978) 416-0920 x 408
Email: WHall@CivilDCI.com
www.CivilDCI.com

From: Michael Devine <mdevine@sandown.us>
Sent: Friday, December 12, 2025 12:50 PM
To: William Hall <whall@civildci.com>
Subject: Re: 412 Main Street Conceptual Plan

Good afternoon,

1. It does not appear that the turning template matches the concept drawing.
2. What is the plan for fire protection for this property?

Michael Devine

Fire Chief/EMD/ Fire Warden

Sandown Fire Rescue

314 Main St.

Sandown, NH 03873

(603)887-4806

Cell (603)706-2259



From: William Hall <whall@civildci.com>
Sent: Thursday, December 11, 2025 10:24 AM
To: Michael Devine <mdevine@sandown.us>
Subject: RE: 412 Main Street Conceptual Plan

Hi Chief Devine,

Here is the sheet with the turning template on it, this may not have been included originally. The truck on there is approximately 35' long, if you are looking for something more please let me know and we can update it. For comment #2, I assume you would be looking for either sprinklers or a cistern on the property?

Thanks,
Bill

William Hall, P.E. ^{MA, NH}
Vice President
CIVIL DESIGN CONSULTANTS, INC
15 Garden Road
Plaistow, NH 03865
Tel: (978) 416-0920 x 408
Email: WHall@CivilDCI.com
www.CivilDCI.com

From: Michael Devine <mdevine@sandown.us>
Sent: Wednesday, December 10, 2025 11:55 AM
To: William Hall <whall@civildci.com>
Subject: Re: 412 Main Street Conceptual Plan

Good afternoon,

After careful review of this report, I have the following questing's.

1. Fire vehicle apparatus access and turn around.
2. Water supply per LAND SUBDIVISION CONTROL REGULATIONS Section 9.6 – Fire Protection

Everything think else looks good.

Michael Devine

Fire Chief/EMD/ Fire Warden

Sandown Fire Rescue

314 Main St.

Sandown, NH 03873

(603)887-4806

Cell (603)706-2259



From: William Hall <whall@civildci.com>

Sent: Wednesday, December 10, 2025 8:50 AM

To: Michael Devine <mdevine@sandown.us>

Subject: RE: 412 Main Street Conceptual Plan

Hi Chief Devine,

I just wanted to follow up here and see if you had any comments for us regarding this proposal.

Thanks,
Bill

William Hall, P.E. ^{MA, NH}

Vice President

CIVIL DESIGN CONSULTANTS, INC

15 Garden Road

Plaistow, NH 03865
Tel: (978) 416-0920 x 408
Email: WHall@CivilDCI.com
www.CivilDCI.com

From: Michael Devine <mdevine@sandown.us>
Sent: Thursday, November 13, 2025 9:00 AM
To: William Hall <whall@civildci.com>
Subject: Re: 412 Main Street Conceptual Plan

I am not in the office today. I will reach out to you tomorrow

Michael Devine
Fire Chief/EMD
Sandown Fire Rescue
314 Main St.
Sandown, NH 03873
(603)887-4806

On Nov 13, 2025, at 8:24 AM, William Hall <whall@civildci.com> wrote:

Hi Chief Devine,

I just wanted to follow up on this and see how the call with SFC went and if there are any issues you see with the layout of this plan.

Thanks,
Bill

William Hall, P.E. ^{MA, NH}
Vice President
CIVIL DESIGN CONSULTANTS, INC
15 Garden Road
Plaistow, NH 03865
Tel: (978) 416-0920
Email: WHall@CivilDCI.com
www.CivilDCI.com

From: William Hall
Sent: Friday, October 31, 2025 8:18 AM
To: Michael Devine <mdevine@sandown.us>
Subject: RE: 412 Main Street Conceptual Plan

Hi Chief Devine,

Attached is a narrative from the Fire Engineer, SFC, as well as our site plan and the architectural plans. Please let me know if you have any questions or comments on these, or if there are any adjustments you would like to see.

Thanks,
Bill

William Hall, P.E. ^{MA, NH}
Vice President
CIVIL DESIGN CONSULTANTS, INC
15 Garden Road
Plaistow, NH 03865
Tel: (978) 416-0920
Email: WHall@CivilDCI.com
www.CivilDCI.com

From: Michael Devine <mdevine@sandown.us>
Sent: Monday, August 11, 2025 8:22 AM
To: William Hall <whall@civildci.com>
Cc: Steffan Brown <steffanbrown21@gmail.com>; Eric Scott <eric10344@gmail.com>; Emily Goering <Goering@gcglaw.com>
Subject: Re: 412 Main Street Conceptual Plan

Good morning,

As stated after the meeting 2 months ago, along with the Fire marshal's office You will need a Fire protection engineer to review the design and come up with a Fire Protection plan.

Once the fire protection plan has been created, we can have a meeting and discussed future actions.

Please feel free to contact me with any further questions

Michael Devine
Fire Chief/EMD
Sandown Fire Rescue
314 Main St.
Sandown, NH 03873
Cell
(603)706-2259
Station
(603)887-4806

On Aug 8, 2025, at 12:48 PM, William Hall <whall@civildci.com> wrote:

Hi Chief Devine,

I believe Steffan Broan, copied here, may have discussed this very informally a month or 2 ago, but we are looking to submit a site plan application for this property showing 32 camping cabins on it. We have contacted the FMO and were directed to work directly with yourself and code compliance to determine the fire protection needed for this. What we show on the attached conceptual plan is a 20' wide driveway for access with cabins spaced a minimum of 10' apart, we believe that this would be the minimum required by NFPA, also attached. Is there anything we are missing, and would you like to see anything additional incorporated into this? We can set up a day to meet to go over this if that works better for you. We also recognize that we are in the early stages of the planning process, so nothing is finalized, but we want to see what your expectations will be and get them incorporated in the initial plan.

Thanks,
Bill

William Hall, P.E. MA, NH
Vice President
CIVIL DESIGN CONSULTANTS, INC
15 Garden Road
Plaistow, NH 03865
Tel: (978) 416-0920
Email: WHall@CivilDCI.com
www.CivilDCI.com

<image001.gif>

<3372-Concept.pdf>

<Complete-NFPA-1194-Standards_2021-Edition-1 HIGHLIGHTED.pdf>

2. Running Northerly by said range way to land now or formerly of George S. Sanborn;
3. Running Easterly by said Sanborn land to land formerly of Alphonse Lescord;
4. Running Easterly by said Lescord land to the highway first mentioned;
5. Running Southerly by said highway to the point of beginning.

Parcel One containing 1 acre, more or less.

Parcel Two containing 8 acres, more or less.

Subject to an easement to NH Electric Cooperative recorded in Book 4830, Page 2806.

Meaning and intending to describe and convey the same premises as conveyed to Henry's Homes, LLC by virtue of a deed dated October 29, 2021 recorded in the Rockingham County Registry of Deeds at Book 6350, Page 1209.

This is not homestead property.

This transfer is exempt from NH Transfer Tax pursuant to NH RSA78-B:2, XXII.

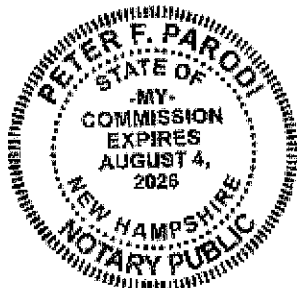
Executed this 13th day of November, 2025.


Eric G. Scott


Steffan Brown

State of New Hampshire
County of Hillsborough

Personally appeared the above named **Eric G. Scott and Steffan Brown**, before me this 13th day of November, 2025, known to be the persons whose names are subscribed to the foregoing instrument and acknowledged that they executed the same for the purposes therein contained.




Notary Public/Justice of the Peace
My Commission Expires: