

# HOW SAFE IS YOUR BUILDING?

FROM NATIONAL BUILDING EXPERT &  
INTERNATIONAL BEST-SELLING AUTHOR

FIRST EDITION

PREVENT ACCIDENTS AND COSTLY LAWSUITS



LANCE LUKE, CCC, CCI, CCPM

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Excerpts for this book were taken from the Best-Selling Book titled “The Big Question” coauthored by Larry King and Lance Luke.

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# **PART I**

## Introduction

Here's the Big Question I have for you: "Is Your Building Safe?"

What makes this a Big Question? Humans need protection from the elements, and a safe building delivers that protection.

How big is this?

Check out the statistics on Residential Building Fire Trends (2010 – 2019). Their national estimates for residential building fires and losses in 2019, the most recent year for which data are available, are 354,400 fires; 2,830 deaths from fires, 12,625 injuries and a total dollar loss of \$7,866,900,000.

The latest statistics available from the National Center for Health Statistics for other injury deaths (other than fire) amounted to 62.6 per 100,000 population (excluding the highest-ranking deaths for poisoning, motor vehicle traffic, and firearms).

Accidental injuries (other than from traffic accident injuries ranks as the 4th highest cause of death in the nation. Unintentional fall deaths were 31,959 that amounts to 10.6 per 100,000 population according to NCHS.

These statistics emphasize the need for safety within the buildings where people live and work.

How about children? The American Academy of Pediatrics reports that falls from heights is a significant problem in urban areas, especially for children living in multiple-story, often deteriorating, low-income housing.

In some metropolitan areas, falls have represented up to 20% of the deaths of children from unintentional injury, as compared to an average of 1% to 4% nationally. As a construction engineer and national building expert, I have seen thousands of unsafe buildings in my thirty-seven years' career.

My goal is safety first. The safety rule applies to any building from high-rise condominiums and office buildings to townhouses and shopping centers.

Let me point out some critical building components to drive home this point.



## **PART II**

# Common Areas Exterior

Common areas apply to condominiums and cooperatives where each unit owner shares in the enjoyment and upkeep of the parking area, the walkways, the landscaping and recreational areas such as a pool or clubhouse. The following is a quick standard assessment of the areas commonly owned and enjoyed by owners.



# CHAPTER 1

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## LOOK FOR TRIP HAZARDS NEAR THE BUILDINGS

Are there any lifted or cracked walkways that could be a trip and fall hazard?

Sometimes, the lifted areas of the walkway may be due to eroding soil causing the ground to heave and the concrete walkway to crack apart. Similar conditions of rough areas may be due to tree roots uplifting the concrete, creating a difference in the pathway's elevation difference.

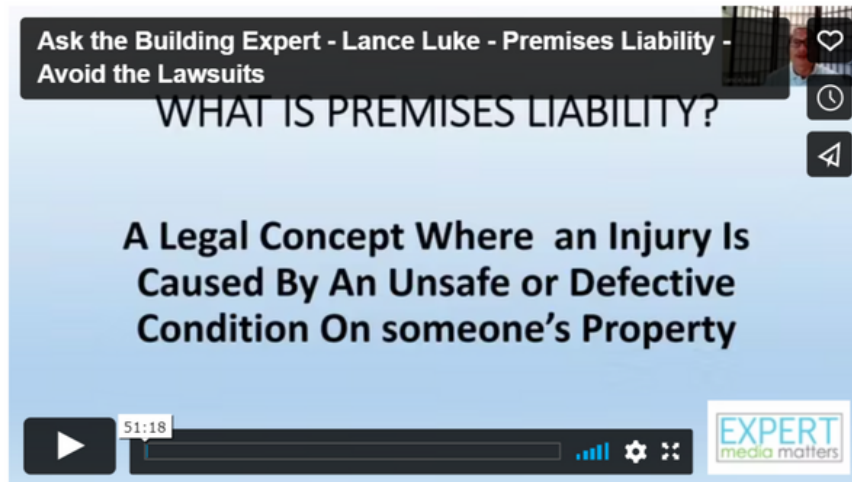


Are the stairs even and are the riser heights the same level of graduation? Differences in the heights of the steps may cause someone to trip. All step heights should be uniform, and there should be no variation from one step to another.



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## CHAPTER 2

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# INSPECT HAND-RAILINGS AND GUARD-RAILINGS

Inspect if all railings are stable and safe. See if you can shake anything loose when grabbing a railing and look at the base of the rail closely if something feels loose which will usually point to corrosion at the base.

Hand-railings at all stairs should be sturdy and free of corrosion. Guard-railings of walkways or lanais (patios) should also be free of corrosion and in a firm condition. All railing bases and intermediate pickets should be whole without penetrations and not broken or corroded.



Over time, the metal railing may be corroded at the concrete slab connection and loose. There are two main types of railing post construction.

One is an embedded post whereby the bottom section of the post is secured into the concrete slab.

The other type is surface mounted where the bottom of the post is bracketed to the surface of the concrete slab.

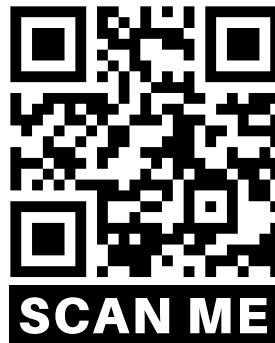
Be aware that corrosion could be covered with paint or caulking such that it is hidden from view. Use a tool like a painter's scraper or a flat head screwdriver to scrape the surface of the post to reveal corrosion and rust.

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## CHAPTER 3

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# SPALLING

At the locations where the bottoms of the railing posts have corroded, it may have caused cracks or spalling inside the concrete. Spalling is caused by corrosion of metal inside the concrete. From moisture and rust, the metal expands. When the metal or reinforcing steel corrodes and expands, it causes the concrete to crack.

Cracks in the concrete and rust stains from the rusted rebar or reinforcing steel are telltale signs of spalling.

Falling pieces of concrete due to spalling is very much a safety concern, especially in high rise structures. Some of the various factors that cause concrete spalling are weather conditions, rain, humidity, salt from coastal areas and wind.



In many cases, both railing and concrete spalling areas need repair or replacement. Low rise and high-rise apartment buildings, condominium buildings and hotels historically need to be inspected more often.

Buildings that are constructed with wood framing and stucco walls may have rotted wood balcony railings and rotted connections where the balcony structure is connected to the main building.

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## CHAPTER 4

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# PARKING LOTS AND DRIVEWAYS

Walk around the parking lots and driveways and look for potholes. They will be easy to find every time someone cursed when driving over it. Notice any uneven surfaces which may entail squatting to eye the asphalt or concrete closer to the ground.

Are there any lifted areas, loose gravel or other conditions such as a wide crack that may pose a trip hazard for a pedestrian?

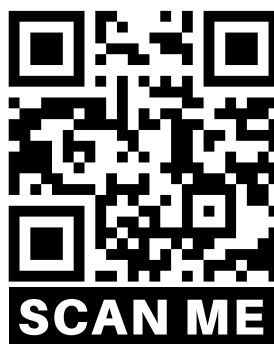


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# CHAPTER 5

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## COMMON AREAS INTERIOR

Adequately lighted stairs and walkways must always be available especially when it is dark. The surfaces of the walkways should not be so smooth that it becomes slippery when it is wet causing someone to fall while walking. If there is outdoor carpet, it should not be torn, ripped, gathered or bunched up creating a trip hazard.

Any condition that could cause a trip and fall, or a slip and fall accident should be immediately remedied. Don't wait for a fall to occur. Fix it right away.





## **PART III**

# General Building Components



# CHAPTER 6

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## CONCRETE SPALLING

I have seen dangerous conditions in concrete buildings due to spalling. Spalling is cracked concrete caused by corrosion of the reinforcing steel. The rebar (short for reinforcing bar) is also known as reinforcing steel. It is a steel bar or mesh of steel wires used as a tension device in reinforced concrete to strengthen and hold the concrete in tension.

When the rebar corrodes, it expands inside the concrete which cracks from the additional tension created by broadening rebar. Some cracks are so bad that chunks of concrete fall off the building. Imagine a piece of concrete falling off a forty-story building and hitting someone.



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# CHAPTER 7

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## ROOF LEAKS

Roof leaks are not hard to fix, but not if building owners do not inspect their roofs to know when the roof needs to be either repaired or replaced promptly.

I have seen roofs that were leaking for years having only stop-gap measures taken when it rained, that ended up causing thousands of dollars in further damages that were entirely preventable.

A leaking roof causes water damage to items, damages electrical systems, and contributes to mold.

In older buildings, the water damage can cause damage to the asbestos-containing material. In these cases, the cost for Hazmat (hazardous material such as asbestos) abatement exceeded the cost of a new roof.



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# CHAPTER 8

## BUILDING ENVELOPE

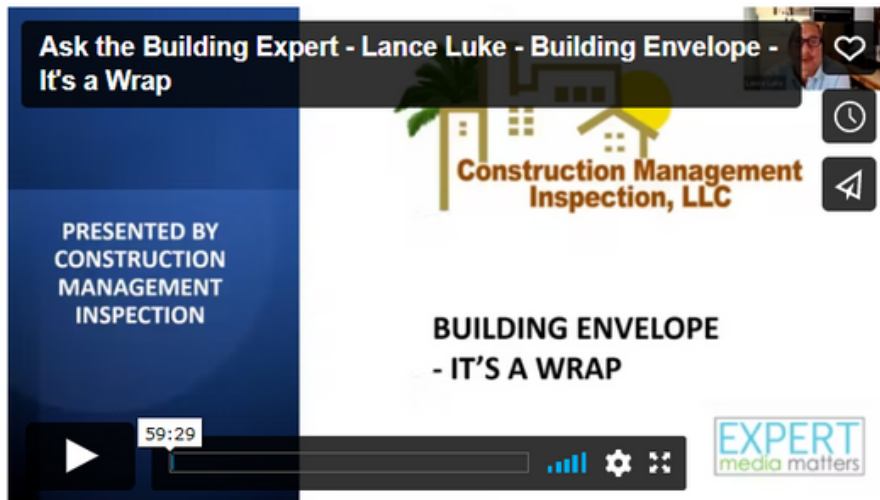
The walls of the building need to be painted every seven to eight years to prevent water infiltration into the walls.

Additionally, all window frames need to be correctly caulked to avoid water intrusion. Dually painting walls and caulking window frames is preventative maintenance for the damages wall infiltration can cause such as wood rot, spalling and mold.



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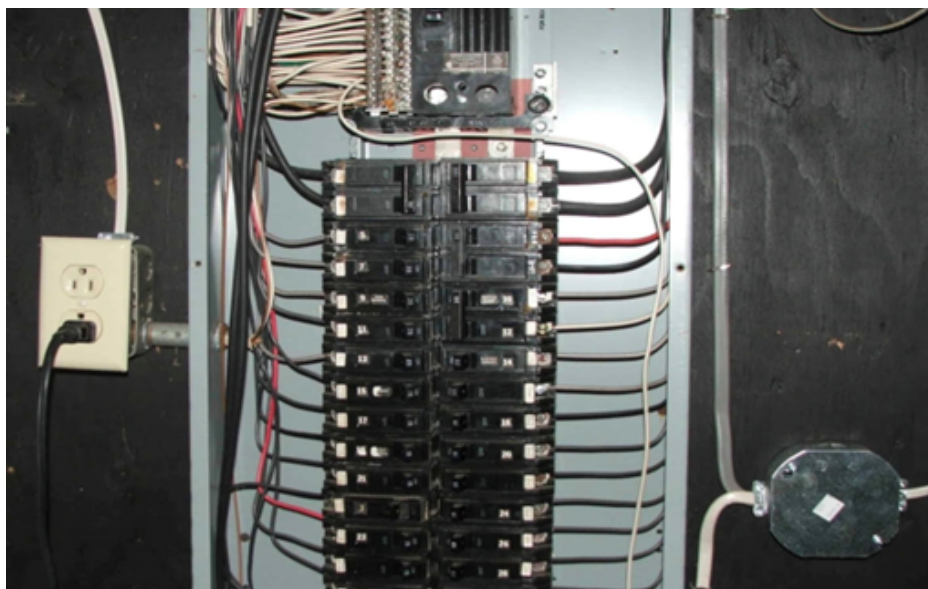
# CHAPTER 9

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## ELECTRICAL

The electrical system should be inspected every five years. During an inspection, open all circuit breaker boxes and notice any overloading of power and look for any voltage drops.

A certified electrician must do the assessment. He will be able to professionally inspect for any other conditions that may pose a fire safety issue. All electrical outlets close to water sources must be ground-fault protected.



Don't worry; your electrician will know what I mean. It's simply protection from the 'hot' wires carrying the electricity.

It is especially prudent to have an electrician conduct a review if you have specific brands of circuit breaker boxes such as Federal Pacific, Electric Stab-Lok and Zinsco, because these names have a history of failure.

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# CHAPTER 10

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## USE A CERTIFIED ELECTRICIAN

Here's another electrician hint: check out if the branch wiring (branch wiring is the wiring connected to 15 and 20-ampere circuit breakers standard in most households) is aluminum. If there is any indication that the branch wiring is made of aluminum, and your electrician will know, then all devices (outlets and switches) should be inspected to see if any connections are loose.



Loose connections may cause arcing. GFCI or Ground Fault Circuit Interrupters and AFCI or Arc Fault Circuit Interrupters should be installed at the required locations.

An electric arc is a current often intense, brief, and luminous, in which electrons jump across a gap. Unwanted arcs in electrical circuits can cause fires.

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# CHAPTER II

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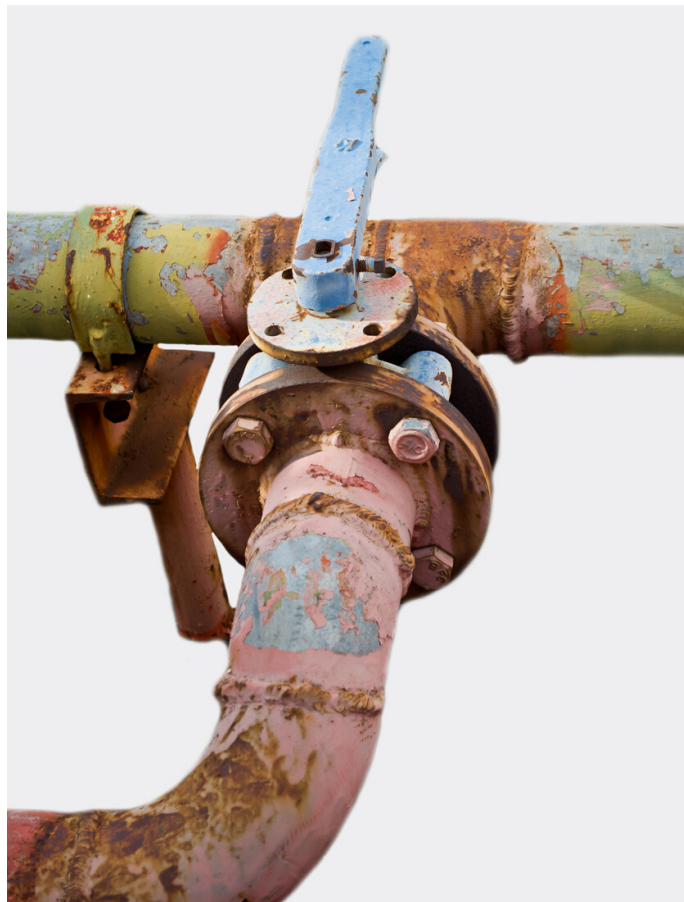
## PLUMBING

Old piping corrodes the drain lines and causes sewage backups and a lot of problems. Piping problems in older high-rise buildings are known to cause flooding from the subject unit throughout many floors down. The dirty water contaminates everything from drywall to carpets, furniture, and personal possessions.

In older buildings, the water causes additional damage to ceilings and walls made of asbestos-containing material found in drywall and "popcorn" ceilings.



When drywall gets wet there is the possibility of mold growth. The one water leak problem becomes compounded into invasive environmental issues unless addressed immediately.



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## CHAPTER 12

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# WINDOWS

Older buildings were built with louvered or jalousie windows that were usually designed from floor to ceiling. This design is unsafe due to the possibility of children falling out of the window at floor level.

The design of the louvers was done so that each glass slat is held in place by metal clips. The metal clips become loose over time by corrosion of the metal or improper replacing of the glass slats after removal for cleaning, and the glass slat falls to the ground below.



Windows that are of the sliding jalousie type may be a hazard if constructed too low to the floor, because there have been cases of children falling out of the windows due to this unfortunate window design. Most older buildings did not use safety glass so that when the glass cracks, sharp shards become a hazard.



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# CHAPTER 13

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## FIRE SAFETY

A significant issue of concern is an updated fire alarm system. The alarm system must be working properly and tested periodically on a maintenance schedule.

A properly functioning fire suppression system inspection includes inspecting fire sprinklers, fire hoses and standpipes. Inspect elevators and ensure that they have a current operating certificate. Walk through all fire exits and connecting stairwells and find the fire doors and firewalls to ensure that they are properly mapped out and posted.



Older buildings may not have the proper fire stops at the floor and ceiling penetrations where piping and conduits go through each floor and ceiling of the building.

A firestop is built into a building frame to block a concealed hollow space through which a fire might pass from one part of the building to another. Fire stops, fire doors and all stairways must be in good working order and never blocked by foreign items that should be stored appropriately elsewhere.



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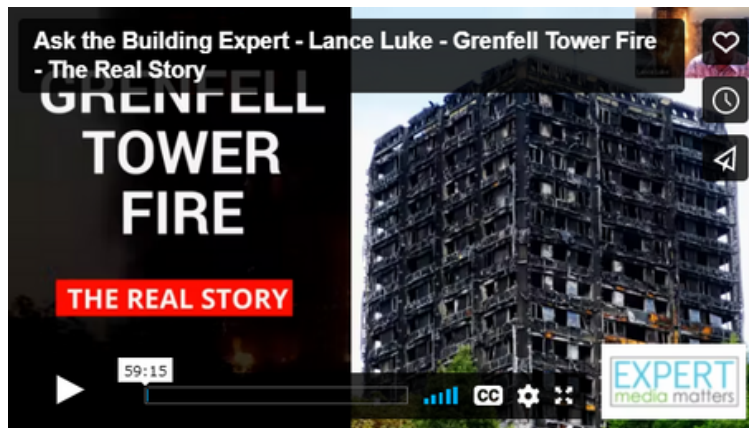


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# CHAPTER 14

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## BUILDING CODES

Building codes are minimum standards and are used as a baseline standard.

In my opinion, buildings should follow a higher standard for safety. Just because the question, "Is it built according to code?" is answered with a "Yes," does not mean it is entirely appropriate. Keep this bit of advice in mind. Safety goes beyond a building code.



I must admit that many buildings I have inspected are in violation of the building code in one form or another. However, the code specifies that a building is unsafe if any building has any conditions that affect the health and safety of people; such as, if a condition poses a fire hazard then the building is considered unsafe.

The corollary is that if your building is in any way not up to code then your building is not safe.

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# **PART IV**

## Closing

Concerning condominium buildings and community association properties, the governing law mandates that the Association Board properly maintains and upkeep the property. Each state in the U.S. has condo reserve laws that require Home Owners Associations of properties to collect money for the reserve fund to fix building components when needed.

If any of the components noted here as safety items need attention; then there should already be in place the financing to address these safety issues.

In closing, I leave you with some of the answers to The Big Question: "How Safe Is Your Building?" and hope that this has been helpful.



# APPENDIX



# PROPERTY INSPECTION CHECKLIST

<b>Inspector(s):</b> _____	<b>Date:</b> _____
_____	_____
<b>Manager Reviewed:</b> _____	<b>Date:</b> _____
_____	_____

<b>Location: Building and Grounds</b>	<b>YES</b>	<b>NO</b>	<b>N/A</b>	<b>COMMENTS</b>
Are there any trip hazards on walkways due to cracks, sunken or lifted/uneven areas?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are there any tree roots causing damage or posing a trip hazard?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are there any cracks or potholes in the asphalt roadways and parking areas?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are there any worn, cracked, or uneven stairs?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are there proper lighting in the parking lot and grounds?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are loading zones clearly marked?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are there wheelchair-accessible ramps leading up to the main entrance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are there handrails/guardrails, and are they in good condition?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are there any obstructions in front of fire hydrants?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are the gutters free of debris?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

<b>Building Exterior</b>	<b>YES</b>	<b>NO</b>	<b>N/A</b>	<b>COMMENTS</b>
Are exit doors unlocked during business hours?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are all entrances and exits properly marked?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are there any cracks/spalling in the concrete?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are there any areas of paint fading, blistering, or chipping?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Is the roof in good shape?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are there any leaks at the windows or other areas of the building?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Is the exterior wood siding and trim in good shape?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are there any windows that are unsafe due to old age and of original design?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are emergency exits clearly marked and free of obstructions?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Is there sufficient lighting on the building's exterior?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Is the rooftop elevator penthouse properly ventilated and cleaned regularly?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are combustible materials kept away from the building?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are there signs of weather/water damage?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Is the parking structure properly maintained?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Is the waterproofing of the parking deck failing?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

<b>Landscaping</b>	<b>YES</b>	<b>NO</b>	<b>N/A</b>	<b>COMMENTS</b>
Does the landscaping interfere with any utility boxes?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are there any dead trees on the property?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are there any holes in the ground that could pose a trip hazard?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are there any areas with dead grass?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Is an irrigation system in place and properly working?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are sprinklers spraying water on the walkways?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

<b>Plumbing Systems</b>	<b>YES</b>	<b>NO</b>	<b>N/A</b>	<b>COMMENTS</b>
Are all pipes and shut off valves inspected for leaks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are there multiple breaks causing leaks in the cast iron drain piping?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are there multiple breaks causing leaks in the supply piping?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

<b>Electrical Systems</b>	<b>YES</b>	<b>NO</b>	<b>N/A</b>	<b>COMMENTS</b>
Are all electrical boxes, outlets and switches properly covered?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are electrical panels properly covered and latched?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are electrical panels free of obstructions?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are extension cords used for temporary use only?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Do any extension cords run through walls, ceilings, or doors?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Do all electrical outlets have covers?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

<b>Fire Protection</b>	<b>YES</b>	<b>NO</b>	<b>N/A</b>	<b>COMMENTS</b>
Are there any combustibles stored in the boiler room?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are all smoke alarms and smoke detectors functional?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are smoke alarms tested regularly?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Does the building have a sprinkler system?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Is the sprinkler system inspected annually?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are portable fire extinguishers readily available?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are fire extinguishers inspected regularly?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are fire evacuation diagrams posted throughout the building?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are there "EXIT" signs posted above exterior doors?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are flammable and combustible liquids properly tagged and stored?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are all common unit fire doors inspected?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Is equipment that requires higher voltage plugged into the proper outlets?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are there any frayed wires in the building?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are all outlets located within six feet of sinks and water sources protected by Ground-Fault Circuit Interrupters (GFCIs)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Is there a lockout procedure in place?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

<b>Heating/Cooling System</b>	<b>YES</b>	<b>NO</b>	<b>N/A</b>	<b>COMMENTS</b>
Is the boiler room kept locked?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are there any combustible objects kept near heaters?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Is the building's thermostat kept at a comfortable temperature?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are filters replaced regularly?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are heating and cooling ducts free of obstructions?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Is the heating/cooling system set back when the building is unoccupied?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

<b>Housekeeping</b>	<b>YES</b>	<b>NO</b>	<b>N/A</b>	<b>COMMENTS</b>
Is trash removed from the building daily?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are bathrooms cleaned daily?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are windows cleaned regularly?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are floors and stairs kept clean?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**Storage**

**YES NO N/A COMMENTS**

Are all combustible and flammable liquids stored properly?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Is there any combustible storage in unprotected attics or crawl spaces?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are cabinets and containers containing chemicals properly labelled?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are spill-containment materials readily available in case of a spill?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are Safety Data Sheets (SDS) available for hazardous substances?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

GENERAL COMMENTS:

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Concrete Spalling Repair Guide	03/09
Warranties in Construction	03/23
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Cliff Dwelling Construction	10/17
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# CONSTRUCTION MANAGEMENT & Construction Consultation Services

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Construction Inspection  
Litigation Support / Conflict Resolution  
Project Oversight  
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Specifications & Contract Bidding



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# ABOUT CMI

Construction Management Inspection, LLC is a full service construction management firm specializing in all aspects of construction. This includes detailed inspections, cost-effective solutions, budgeting, contractor bids and spearheading professional oversight. We establish a working partnership with building owners and managers with the goal of increasing the quality and longevity of your building through inspections geared toward the improvement of maintaining your building's integrity.



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808-422-2132  
[lanceluke@hawaiibuildingexpert.com](mailto:lanceluke@hawaiibuildingexpert.com)



## WHY WORK WITH CMI?

Construction Management Inspection LLC since 2008 is recognized for its industry expertise assisting building owners, condo associations, commercial and residential property managers in the community including neighbor islands. Applying over 40 years of experience conducting inspections and construction management, Lance Luke, CMI's principal has received numerous client testimonials, references and letters of recommendation as posted on our website [HawaiiBuildingExpert.com](http://HawaiiBuildingExpert.com).

We are value driven in how to best meet your specific needs. Taking the first step in reducing future costs of expensive repair and maintenance means hiring an expert to inspect, analyze, manage, and propose exact solutions.

Having established a track record of excellent service, we found an industry-wide need for honest, competent and unbiased professional advice on building related problems and solutions including:

- Capital improvement repair/replacement projects.
- Identifying substandard preventative maintenance.
- Inspection of poor performance/failure of building components.
- Preventing future high repair and replacement costs.
- Full service project management.
- Nonbiased review of contractor bids and project job proposals.
- Adjudicating fair bidding practices without favoring any one vested interest.

"Managing renovations and repairs is a specialized field that requires a complete understanding of the intricacies of construction design. It requires an appreciation of complexities and familiarity with various construction methods. To ensure the best construction management has to offer entails a constant and current review of industry methods, materials, and components. Hiring CMI does not cost; it saves money because we know each aspect of the construction process from the foundation to the roof. Hiring CMI saves valuable production time and targets specific causes to failed components. CMI means huge savings for the client reducing exorbitant future outlays by using today's cost projections for immediate correction. The old saying, "If it ain't broke don't fix it" no longer holds water. CMI's saying is, "If it ain't broke better fix it good now before it breaks the budget."

## TYPES OF COMPLETED PROJECTS BY THE CONSTRUCTION EXPERTS



### Spalling

Property condition survey, repair of spalling and repair/replacement of railings. Completion of painting and waterproofing.



### Piping

Replacement of DWV (Drain, waste, vent) piping throughout the building. Includes finish work such as drywall, cabinets, tile, painting etc.



### Asphalt

Sealcoating, crack fill, overlay and total reconstruction. Includes curbs, wheel stops, speed bumps, striping, numbering and signage.



### Wood Repairs

Condition survey and repair of trim, siding to include structural framing replacement as needed. Completion of painting.



### Roofing

Repair/replacement of all types of roofs including asphalt, wood and concrete shingles, metal, and various types of coatings for flat roofs.



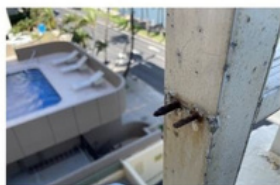
### Fire Sprinkler / Alarm Systems

Repair/replacement and/or new installation of fire sprinklers, fire alarms and upgrades of fire life safety components to include fire doors, smoke alarms, emergency signage and more.



### Painting / Waterproofing

New coating of building surfaces including parking decks, walkways, stairways, pool decks and other areas. Painting of concrete, metal, and wood surfaces after proper preparation. Adhesion tests for proper application is specified.



### Construction Defects

Complete inspections from foundation to the roof of all common area components. Developer transition inspections for new buildings. General building inspections for building failures such as water infiltration conditions.



### Architectural Design Review

Review plans and specifications for compliance with condo guidelines and building codes. Structural modifications, kitchen/bath renovation, lanai enclosures, window replacement, air conditioning, flooring replacement and electrical/plumbing upgrades.

# “Successful planning, specifications and construction on time and within budget”

CMI manages all building related construction projects at each step of the entire building repair and maintenance process. Proven cost saving plans specific to the completion of capital improvements is our expertise.

## WE SPECIALIZE IN COMPLETE INSPECTIONS & CONSTRUCTION MANAGEMENT

- Concrete spalling
- Roofing, waterproofing
- Cast iron pipe replacement
- Wood damage assessment/repairs
- Life safety components

## PROFESSIONAL CERTIFICATIONS

- CCI - Certified Construction Inspector
- CCPM - Certified Construction Project Manager
- CCC - Certified Construction Consultant
- CSI - Construction Specifications Institute

## OUR EXPERTISE


- Design, engineering review
- Project evaluation/oversight
- Value engineering, cost benefits
- Contract documentation
- Punch list inspections


### FREE WEBINARS


on building and construction topics  
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## Contact Us

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# PROVEN & PROFESSIONAL CONSTRUCTION MANAGEMENT SERVICES

For over 40 years, we have served condo associations, property managers, and building owners in Hawaii. We are experts at working on all types of capital improvement projects. Some of our specialty projects include the following:



**Concrete Spalling Repair**



**Painting and Waterproofing**



**Roofing**



**Cast Iron Repiping**



**Asphalt Reconstruction**



**Wood Repairs**



**Fire Life Safety**



**Construction Defect Investigation**



**Architectural Design Review**

**Contact us for a free 1 hour building inspection and consultation**

\*Limitations apply. Contact us for details.



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**We also host free webinars on building and construction topics.**



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## Lance Luke

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### Who Should Attend:

- Property Managers
- Condo Board Members
- Resident & Site Managers
- Realtors
- Homeowners
- Contractors
- Architects
- Engineers
- Real Estate and Construction Attorneys
- Other interested parties



#### QUESTIONS:

[lanceluke@hawaiibuildingexpert.now.site](mailto:lanceluke@hawaiibuildingexpert.now.site)

#### WEBSITE:

[hawaiibuildingexpert.com](http://hawaiibuildingexpert.com)



# ABOUT THE AUTHOR



**CURRICULUM VITAE**  
**of**  
**LANCE LUKE, CCC, CCI, CCPM**

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(808) 422-2132

[lanceluke@hawaiibuildingexpert.com](mailto:lanceluke@hawaiibuildingexpert.com)

**SUMMARY/OVERVIEW**

Lance Luke has been in the construction and real estate industry for over 42 years. He is a former general contractor and worked as a construction and project manager for real estate development companies. Currently he owns an independent construction consulting company, Construction Management Inspection, LLC. He has experience in design, engineering, construction inspections, construction management, reserve studies, real estate development, property management and condo association management.

His specialty is in inspection and construction management for condo association buildings and commercial properties. Various types of projects worked on include concrete spalling repair, painting, roofing, waterproofing, asphalt resurfacing, plumbing re-piping, electrical retrofit and structural wood repair. He provides construction oversight and progress inspections for residential and commercial projects. He has 42 years managing capital improvement projects for condominium associations.

Lance Luke serves as an expert witness on construction and real estate litigation cases. He was formally an Advisory Board Member for the State of Hawaii Regulated Industries Complaints Office, as an expert consultant (for over 15 years). His expertise was in helping to resolve complaints filed with the Contractors' License Board. He was also selected in 2017 by Honolulu Assistant Fire Chief to serve on the RFSAC (Residential Fire Safety Advisory Committee) Building Code Sub-Committee to prepare the Fire Life Safety Evaluation criteria.

He has written numerous articles on construction and inspection, which have published in both local and national media. He conducts up to 30 presentations a year to the construction, real estate and property management industry including educational webinars and construction seminars.

Two-time Best-Selling Author on subjects of construction management and building safety. Numerous articles published in national construction, design, and building management publications.

Featured guest on national media shows such as Times Square Today and Hollywood Live which were broadcast on national media outlets such as ABC, CNBC, CNN, NBC, Fox Affiliates, A&E, and Bravo.

Mr. Luke is a qualified insurance inspector and an approved Federal HUD Construction Inspector. HUD projects included “from the ground up” assisted living facilities such as Plaza at Moanalua (2012), Plaza at Pearl City (2014) and Ilima at Leihano (2016) He is also listed as one of America’s Premier Experts and Marquis Who’s Who in America 70th Anniversary Edition. And is an instructor for National Seminar Providers such as Lorman Education Services, Compliance Prime, and Half Moon Education Seminars.

Lance Luke is a former member of the Structural Engineers Association of Hawaii and the American Bar Association serving on the Real Property/Probate Law Division and the Forum for the Construction Industry and a former member of the following Professional Associations:

#### PROFESSIONAL ASSOCIATIONS

- o Construction Management Association of America (CMAA)
- o The Construction Specifications Institute (CSI)
- o Hawaii Building Association (HBA)
- o International Code Council (ICC)
- o International Concrete Repair Institute (ICRI)
- o National Institute of Building Sciences (NIBS)
- o Roofing Consultant Institute (RCI)
- o Structural Engineers Association of Hawaii (SEAH)

#### **LICENSING/CERTIFICATIONS**

- Real Estate License 1980 (currently licensed)
- Certified Real Estate Appraiser 1987 (National Association of Real Estate Appraisers)
- Registered Home Inspector 1996 (Housing Inspection Institute)
- Senior Certified Valuer 1996 (International Real Estate Institute)
- Registered Property Manager 1996 (International Real Estate Institute)

- Mortgage Solicitor/Designated Mortgage Broker 1996-2010
- General Residential Contractor (Oregon 1998-2000)
- Certified Construction Project Manager 2007 (Association of Construction Inspectors)
- Certified Construction Consultant 2007 (Association of Construction Inspectors)
- Certified Construction Inspector 2007 (Association of Construction Inspectors)
- OSHA Certifications:
  - NFPA 70-E
  - Scaffolding Competent Person
  - Fall Protection Competent Person
  - Revised Hazard Communication
  - Standard (HCS) Globally Harmonized System
  - Aerial Lifts
  - Powered Industrial Truck Certification (Class VII Rough Terrain Telehandler Forklift)
  - Respirable Crystalline Silica
  - NFPA 70E Arc Flash Safety
  - Trenching & Excavation Safety

**EXPERIENCE: REAL ESTATE DEVELOPMENT, CONSTRUCTION MANAGEMENT, CONSTRUCTION ENGINEERING**

- Central Pacific Development Corporation (Hawaii Headquarters) 1979-1990
- Capital Pacific Development Corporation (Mainland Branch) 1980-1990
- Building Inspection Consultants 1989-2000
- Lance Luke, Construction Consultant 2000-2007
- Construction Management Inspection LLC. 2008-current
- Served as construction manager on hundreds of capital improvement projects for condo and commercial buildings from 1990 to the current date.

**EXPERIENCE: REAL ESTATE CONDO ASSOCIATION MANAGEMENT, CONDO BOARDS**

- Certified Properties Inc. 1978-1984
- First American Realty & Management Corp. 1981-1986
- First American Real Estate Services Inc. 1986- 1989
- Certified Management Inc./Associa Hawaii 2007-2011
- Certified Association Services Inc 2007-2012
- Certified Real Estate Services Inc. 2007-2012
- Certified Reserve Studies 2007-2012
- Certified Maintenance 2007-2012

- Served on various condo boards from 1979 to 1984, and 2017 to current. Currently on three condo association boards serving as Vice President, Secretary and Treasurer respectively.
- In addition to serving as corporate and consulting manager, Mr. Luke also educated many associations property, resident and site managers from 1990 to the current date.

**REAL ESTATE DEVELOPMENT PROJECTS (Served as Construction Manager for the following projects)**

1. Makiki Plaza: 131 units, 25 stories, 1980
2. Tradewinds Plaza: 80 units, 11 stories, 1979
3. Punahou Surf: 7 units, 2 stories, 1980
4. Emerson Plaza: 12 units, 4 stories, 1979
5. Atkinson Plaza: 127 units, 18 stories, 1979
6. Plaza at Century Court: 94 units, 20 stories 1987
7. Century Park Plaza: 600 units, 40 story twin towers. 1984
8. Makiki Colony: 56 units, 9 stories, 1980
9. Kuulei Hale: 16 units, 4 stories. 1984
10. Castle Hills: 130 single family subdivision, 1982
11. Nuuanu Palms: 7 unit single family cluster, 1988
12. Executive Plaza/Starts International: 7 story office building, 1990
13. Iolani Palms: 31 units, 6 stories, 1989
14. Fountains at Makiki: 72 units, 5 stories, 1991
15. Lani Hale: 15 units, 2 stories, 4 buildings, 2011
16. Leialoha Parkside, 10 units, 3 stories, 2011
17. Parkway Plaza: Residential Highrise Building, San Antonio, Texas 1984
18. Centre Plaza: Residential Highrise Building, Orlando Florida, 1984
19. Capital Pacific Business Plaza: Commercial Highrise Office Building, San Diego California, 1984

The National Building Expert Lance Luke shares his tips on Building Safety for Buildings large and small. He shares his 42 years of experience in the construction industry.

His webinars on building and construction topics draws audiences not only from the Unites States but from all over the world.

Sign up for a future webinar or two, or watch a few on demand at [askbuildingexpert.now.site](http://askbuildingexpert.now.site)